

35TH STREET APARTMENT

1408 W 35TH STREET,

LOS ANGELES, CA 90018, USA

12-UNIT APARTMENT



ARCHITECTURAL DESIGNERS:

CARPIRA DESIGN GROUP
TEL: (310) 795-4009
SAMCARPIRA@GMAIL.COM



ENGINEER:
FYP CONSULTING GROUP
58 FEATHER RIDGE,
MISSION VIEJO CA 92692
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OWNER:
TGIGCA, LLC / ZAGHI
200 S. BARRINGTON AVE.
#49385, LA CA 90049
TEL: 408-396-4530
EMAIL: TGIGCALLC@GMAIL.COM

PROJECT ADDRESS:
1408 W 35TH ST,
LOS ANGELES,
CA 90018

DESCRIPTION:
REV.1 DATE: 09/07/2022
REV.2 DATE: 11/04/2022
REV.3 DATE: 11/21/2022
REV.4 DATE: 02/07/2023
REV.5 DATE: 02/16/2023

TITLE
COVER SHEET

SCALE

PAGE NO.:

A - 00

ARCHITECTURAL SHEETS

PROJECT DIRECTORY		
OWNER: TGIGCA, LLC / ZAGHI 30025 ALICIA PARKWAY #198, 200 S. BARRINGTON AVE #49385 LOS ANGELES, CA 90049 TEL: 408-396-4530 EMAIL: TGIGCALLC@GMAIL.COM	DESIGNER: CARPIRA DESIGN GROUP 30025 ALICIA PARKWAY #198, LAGUNA NIGUEL, CA 92677 TEL: (310) 795-4009 EMAIL: SAMCARPIRA@GMAIL.COM WWW.CARPIRA.COM	SOIL ENGINEER: GEOTECH CONSULTANTS, INC. 1201 N. PACIFIC AVE. STE. 201 GLENDALE, CA. 91202 TEL: (310) 945-7288 EMAIL: BAHMANGEOTECH@GMAIL.COM
SURVEY: ALI MONSHIZADEH PE MFKESSLER ONE VENTURE SUITE NO. 130 IRVINE, CALIFORNIA 92618 UNITED STATES WWW.MFKESSLER.COM TEL: (949) 339-5330	STRUCTURAL: FYP CONSULTING GROUP 58 FEATHER RIDGE, MISSION VIEJO CA 92692 TEL: 949-597-5907 FAX: 949-597-8151 EMAIL: FYPCONSULTING@COXNET	CIVIL ENGINEER: SHAHRIAR YADEGARI, PE 5TH DIMENSION DEVELOPMENT LIC. 10301 KESWICK AVE. LOS ANGELES, CA. 90064 TEL: (310) 430-6033 EMAIL: SHAYDEGARI@GMAIL.COM

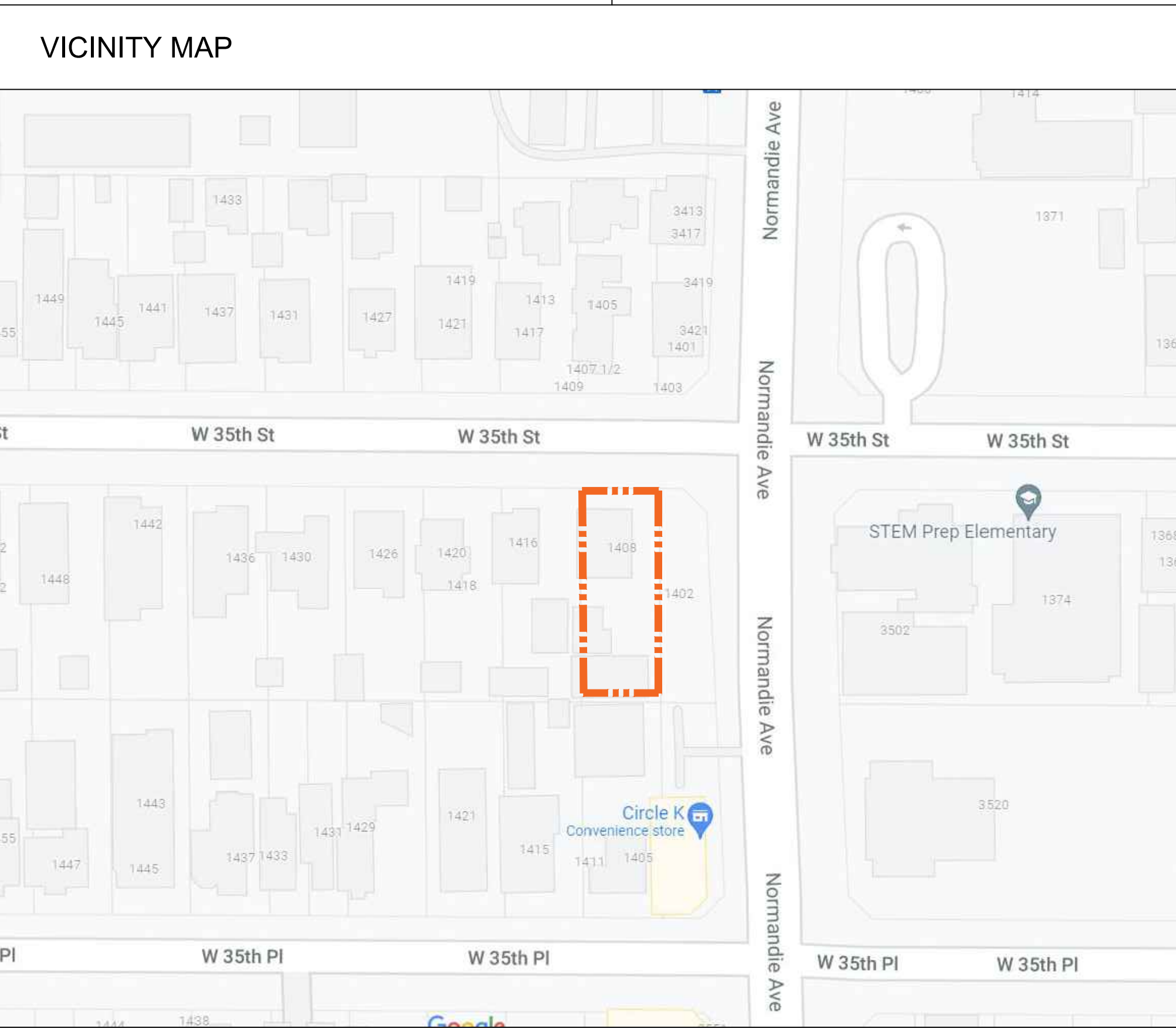
PROJECT SUMMARY																												
LEGAL DESCRIPTION:	LOT 28, BLOCK 7, HOWES TRACT, MAP SHEET 120B193 ASSESSOR PARCEL No. (APN): 5041010018 PIN NUMBER: 120B193 949 MAP REFERENCE: M R 16-60 THOMAS BROTHER MAP GRID: PAGE 673 - GRID J1																											
SITE ADDRESS:	1408 W 35TH ST, LOS ANGELES, CA 90018																											
LOT AREA:	6,793.3 SQ.FT.																											
SCOPE OF WORK:	DEMOLITION OF EXISTING STRUCTURE AND NEW CONSTRUCTION OF A 12-UNIT, 3-STORY TYPE V-A AND 1-STORY TYPE I-A APARTMENT BUILDING, WITH 5% VERY LOW INCOME AFFORDABLE HOUSEHOLDS (1 UNITS VLI).																											
ZONING:	C2-1VL-CPIO																											
BASE DENSITY:	1 UNIT PER 400 SQ.FT. OF LOT AREA (6,793.3 SQ.FT.) / 400 SQ.FT. = 16.98 = 17 UNITS																											
REQUIRED SETBACKS:	<table border="1"> <tr> <th>REQUIRED</th> <th>PROVIDED</th> </tr> <tr> <td>FRONT 6'-0" (PER CPIO)</td> <td>6'-0"</td> </tr> <tr> <td>SIDE(RIGHT) 7' (5'+1' PER EACH ADD'L FLOOR OVER 2ND STORY)</td> <td>7'</td> </tr> <tr> <td>SIDE (LEFT) 7' (5'+1' PER EACH ADD'L FLOOR OVER 2ND STORY)</td> <td>7'</td> </tr> <tr> <td>REAR 16' (15'+1' FOR EACH STORY OVER 3RD STORY)</td> <td>16'</td> </tr> </table>	REQUIRED	PROVIDED	FRONT 6'-0" (PER CPIO)	6'-0"	SIDE(RIGHT) 7' (5'+1' PER EACH ADD'L FLOOR OVER 2ND STORY)	7'	SIDE (LEFT) 7' (5'+1' PER EACH ADD'L FLOOR OVER 2ND STORY)	7'	REAR 16' (15'+1' FOR EACH STORY OVER 3RD STORY)	16'																	
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PERMITTED HEIGHT:	45 FEET																											
BUILDING HEIGHT:	45'-0"																											
TYPE OF CONSTRUCTION:	TYPE V-A SUPERVISED AUTOMATIC FULLY SPRINKLERED THROUGH OUT (NFPA13) ZONING CODE (3-STORY) PROVIDE APPROVED FIRE ALARM SYSTEM PER NFPA 72 UNDER SEPARATE PERMIT EMERGENCY RESPONDER RADIO COVERAGE IS REQUIRED PER CFC 510 TYPE I-A (1-STORY) SPRINKLERED THROUGH OUT (NFPA13)																											
TYPE OF OCCUPANCY:	R2/S2																											
PROPOSED BUILDING STORY:	4-STORY																											
PARKING SUMMARY:	<table border="1"> <tr> <th></th> <th>REQUIRED</th> <th>PROVIDED</th> </tr> <tr> <td>PARKING</td> <td></td> <td></td> </tr> <tr> <td>REGULAR PARKING</td> <td>4 SPACES</td> <td>4 SPACES</td> </tr> <tr> <td>CLEAN AIR VEHICLE PARKING (30%)</td> <td>1 SPACE</td> <td>1 SPACE</td> </tr> <tr> <td>DISABLE PARKING (2%)</td> <td>1 SPACE</td> <td>1 SPACE</td> </tr> <tr> <td>TOTAL</td> <td>6 SPACES</td> <td>6 SPACES</td> </tr> <tr> <td>BICYCLE</td> <td></td> <td></td> </tr> <tr> <td>LONG TERM BICYCLE (12 UNITS)</td> <td>12 SPACES</td> <td>12 SPACES</td> </tr> <tr> <td>SHORT TERM (10%)</td> <td>2 SPACES</td> <td>2 SPACES</td> </tr> </table>		REQUIRED	PROVIDED	PARKING			REGULAR PARKING	4 SPACES	4 SPACES	CLEAN AIR VEHICLE PARKING (30%)	1 SPACE	1 SPACE	DISABLE PARKING (2%)	1 SPACE	1 SPACE	TOTAL	6 SPACES	6 SPACES	BICYCLE			LONG TERM BICYCLE (12 UNITS)	12 SPACES	12 SPACES	SHORT TERM (10%)	2 SPACES	2 SPACES
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ARCHITECTURAL:				STRUCTURE:			
1 A-00 COVER SHEET	21 A-14 1/4" UNIT PLAN	1 SN-1	STRUCTURAL NOTES	2 SN-2	STRUCTURAL NOTES	3 S-1	FOUNDATION PLAN
2 A-G.N.1 GENERAL NOTES	22 A-15 1/4" UNIT PLAN	4 S-2	FIRST FLOOR CONCRETE FRAMING PLANS	5 S-2.1	STRUCTURAL SECTION	6 S-3	THIRD FLOOR FRAMING/ SECOND FLOOR SHEAR WALL PLANS
3 A-G.N.2 GENERAL NOTES	23 A-16 DOOR&WINDOW SCHEDULES	7 S-4	FOURTH FLOOR FRAMING/ THIRD FLOOR SHEAR WALL PLANS	8 S-5	ROOF FRAMING/ FORTH FLOOR SHEAR WALL PLANS	9 S-6	STAIRCASE ROOF FRAMING/SHEAR WALL PLANS
4 A-C.G. CAL-GREEN NOTES	24 A-17 LANDSCAPE CALCULATION	10 SD-1	STRUCTURAL DETAILS	11 SD-2	STRUCTURAL DETAILS		
5 A-G.F. GREEN FORMS	25 A-18 WALL SECTIONS						
6 A-S.R. SOIL REPORTS APPROVAL LETTER	26 A-19 WALL SECTIONS						
7 SU-1 SURVEY	27 A-20 OPEN SPACE CALC PLANS						
8 A-01 SITE PLAN	28 A-21 FLOOR AREA DIAGRAM PLANS						
9 A-02 FIRST FLOOR PLAN	29 D-01 ARCHITECTURAL DETAILS						
10 A-03 SECOND FLOOR PLAN	30 D-02 ARCHITECTURAL DETAILS						
11 A-04 THIRD FLOOR PLAN	31 D-03 ARCHITECTURAL DETAILS						
12 A-05 FORTH FLOOR PLAN	32 D-04 ARCHITECTURAL DETAILS						
13 A-06 ROOF PLAN	33 D-05 ARCHITECTURAL DETAILS						
14 A-07 FRONT & REAR ELEVATIONS	34 D-06 ARCHITECTURAL DETAILS						
15 A-08 RIGHT ELEVATIONS	35 D-07 ARCHITECTURAL DETAILS						
16 A-09 LEFT ELEVATIONS	D-08 ARCHITECTURAL DETAILS						
17 A-10 A-A SECTIONS							
18 A-11 B-B SECTIONS							
19 A-12 1/4" STAIR DETAILS							
20 A-13 1/4" UNIT PLAN							

DEFERRED SUBMITTALS	APPLICABLE CODES
SEPARATE BUILDING PERMIT APPLICATION IS REQUIRED FOR THE FOLLOWING: A. DEMOLITION B. SITE GRADING C. NFPA 13 AUTOMATIC FIRE SPRINKLER SYSTEM (NFPA 13, 2019 EDITION) D. GATES, FENCES, AND OUTDOOR HARDSCAPE E. MECHANICAL F. ELECTRICAL G. PLUMBING H. LIGHT STANDARD(S) I. OFFSITE UTILITIES AND STREET IMPROVEMENTS J. PEDESTRIAN PROTECTION K. FIRE ALARM SYSTEM AND MONITORING (NFPA 72, 2010 EDITION) L. SIGNAGE M. EMERGENCY RESPONDER RADIO COVERAGE (LAFD 510) N. SOLAR PHOTOVOLTAIC	2019 CALIFORNIA BUILDING CODE 2019 CALIFORNIA GREEN BUILDING CODE 2019 CALIFORNIA ELECTRICAL CODE 2019 CALIFORNIA MECHANICAL CODE 2019 CALIFORNIA PLUMBING CODE 2019 CALIFORNIA ELEVATOR CODE 2019 CALIFORNIA FIRE CODE

RESIDENTIAL UNIT MIX:	<table border="1"> <tr> <th>UNIT</th> <th>QTY.</th> <th>MIX</th> <th>NET AREA</th> <th>TOTAL NET AREA</th> </tr> <tr> <td>201,301&401</td> <td>3</td> <td>3 Beds+2 Baths+Den+Deck</td> <td>880.0 sq.ft.</td> <td>2640.0 sq.ft.</td> </tr> <tr> <td>202,302&402</td> <td>3</td> <td>2 Beds+1 Bath+Den</td> <td>755.0 sq.ft.</td> <td>2265.0 sq.ft.</td> </tr> <tr> <td>203,303,403</td> <td>3</td> <td>2 Beds+1 Bath+Den</td> <td>740.0 sq.ft.</td> <td>2220.0 sq.ft.</td> </tr> <tr> <td>204,304,404</td> <td>3</td> <td>2 Beds+1 Bath+Den+Deck</td> <td>670.0 sq.ft.</td> <td>2010.0 sq.ft.</td> </tr> <tr> <td>TOTAL</td> <td>12</td> <td></td> <td>3045.0 sq.ft.</td> <td>9135.0 sq.ft.</td> </tr> </table>	UNIT	QTY.	MIX	NET AREA	TOTAL NET AREA	201,301&401	3	3 Beds+2 Baths+Den+Deck	880.0 sq.ft.	2640.0 sq.ft.	202,302&402	3	2 Beds+1 Bath+Den	755.0 sq.ft.	2265.0 sq.ft.	203,303,403	3	2 Beds+1 Bath+Den	740.0 sq.ft.	2220.0 sq.ft.	204,304,404	3	2 Beds+1 Bath+Den+Deck	670.0 sq.ft.	2010.0 sq.ft.	TOTAL	12		3045.0 sq.ft.	9135.0 sq.ft.
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TOTAL	12		3045.0 sq.ft.	9135.0 sq.ft.																											

OPEN SPACE REQUIREMENTS SEC. 12.21.G2			
	RATIO	UNITS	REQUIRED
LESS THAN 3 HABITABLE ROOM UNIT	100 SQ. FT. PER UNIT	0	0 SQ.FT.
3 HABITABLE ROOM UNIT	125 SQ. FT. PER UNIT	9 * 125	1125 SQ.FT.
4 HABITABLE ROOM UNIT	175 SQ. FT. PER UNIT	3 * 175	525 SQ.FT.
TOTAL			1650 SQ.FT.
MINIMUM COMMON OPEN SPACE REQUIRED (50%)=			825 SQ. FT.
PRIVATE OPEN SPACE PROVIDED:			
BALCONIES WITH 6' MIN. DIM.: 50 SQ.FT.X3=			150 SQ. FT.
COMMON OPEN SPACE PROVIDED:			
COURT YARD WITH 15' MIN. ROOF DECK WITH 15' MIN.:			800 SQ. FT.
TOTAL OPEN SPACE PROVIDED:			1,650 SQ. FT.
MIN. COMMON SPACE LANDSCAPE REQUIRED (25%)=1,500*25%=			375 SQ. FT.
MIN. LANDSCAPE AREA PROVIDE FOR COMMON AREA:			375 SQ. FT.
NUMBER OF 24" BOX TREES REQUIRED (ONE PER 4 UNITS)			3
MIN. NUMBER OF 24" BOX TREES PROVIDED			3



FLOOR AREA DENSITY PER ZONING:						
	OCCUPANCY LOAD	GARAGE	RESIDENTIAL	EXTERIOR WALLS/ SHAFT/ STAIRS/ VENTS	REC. ROOM	TOTAL
FIRST FLOOR	S-2 1/200 (13) R-2 1/15 (57)	2600 sq.ft.	---	840 sq.ft.	750 sq.ft.	4190 sq.ft.
2ND FLOOR	R-2 1/200 (16)	---	3144 sq.ft.	960 sq.ft.	---	4104 sq.ft.
3RD FLOOR	R-2 1/200 (16)	---	3144 sq.ft.	960 sq.ft.	---	4104 sq.ft.
4TH FLOOR	R-2 1/200 (16)	---	3144 sq.ft.	960 sq.ft.	---	4104 sq.ft.
TOTAL		2600 sq.ft.	9432 sq.ft.	3720 sq.ft.	750 sq.ft.	16502 sq.ft.

BASE MAX. BUILDING AREA ALLOWED: 1/5:1 F.A.R.		
BASE FAR (6,793.3 SQ. FT. (LOT AREA)*1.5)= 10,189.95 SQ. FT.		
F.A.R. INCREASE (DENSITY BONUS) 27.5%		
10,189.95 X 1.35= 13,756.4 SQ. FT.		
TOTAL RESIDENTIAL AREA (BLD'G CODE): 9432 SQ. FT.		
TOTAL RESIDENTIAL AREA (ZON'G CODE): 13932 SQ. FT.		
TOTAL RESIDENTIAL AREA (SCHOOL FEE): 13152 SQ. FT.		

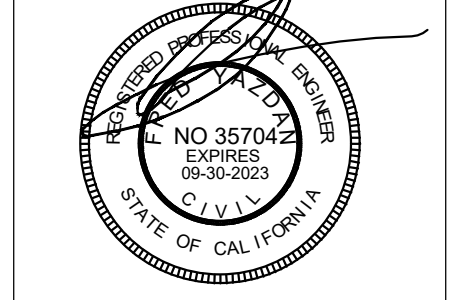
AFFORDABLE HOUSING INCENTIVES:	
1 INCENTIVES FOR 5% VERY LOW INCOME AFFORDABLE:	WAIVER INCENTIVE:
1- 2.43:1 FAR (OFF MENU INCENTIVE)	1- TRANSITIONAL HEIGHT (22'-0")
	2- CPIO GROUND FLOOR HEIGHT RELIEF

CONSTRUCTION TYPE SUMMARY			
TYPE OF CONSTRUCTION	VA	IA	
OCCUPANCY	R-2	S-2	
NO. OF STORIES	3	1 (FIRST FLOOR)	TABLE 504.4
HEIGHT (ALLOWABLE)	45'	UNLIMITED	TABLE 504.3
ALLOWABLE FLOOR AREA	36,000	UNLIMITED	TABLE 506.2
W=(30' (1 2 STREET WIDTH)X200')/200=30'			SECTION 506.3
FRONTAGE INCREASE: If =[(F/P-0.25)W/30=			
ASSUME 0.0			SECTION 506.3
AREA MODIFICATION: Aa=[At+(NSX)if]XSa			SECTIONS 506.1
Aa=36,000 SQ. FT. >21,428 S.F. (PROVIDED)			506.2, 506.3
ALLOWABLE AREA PER STORY	36,000 SQ. FT.	UNLIMITED	
FIRE RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS (HOURS) TABLE 601			
BUILDING ELEMENT	TYPE I	TYPE VA	
PRIMARY STRUCTURAL FRAME	3	1	
BEARING WALLS	EXTERIOR 3	INTERIOR 1	
NONBEARING WALLS AND PARTITIONS	EXTERIOR 1	INTERIOR 0	
FLOOR CONSTRUCTION AND SECONDARY MEMBER	2	1	
ROOF CONSTRUCTION AND SECONDARY MEMBER	1.5	1	
SHAFT RATING		2	

DEFERRED SUBMITTAL ITEMS SHALL COMPLY WITH CBC SECTION 106.4.4.2. SUBMITTAL DOCUMENTS FOR DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED TO THE ARCHITECT (STRUCTURAL ENGINEER) FOR REVIEW WITH THE GENERAL CONFORMANCE TO CONTRACT DOCUMENTS. PROVIDE A PROFESSIONAL ENGINEER'S SIGNATURE AND SEAL IN THE STATE WHERE THE PRODUCT SITE OCCURS. THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THEIR DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED BY THE BUILDING OFFICIAL. DEFERRED SUBMITTAL ITEMS ARE AS FOLLOWS:
A. ELEVATOR ANCHOR SYSTEM
B. ATS SYSTEM (HOLD DOWNS)



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- TYPE V-A NOTES:**
- CONTINUOUS DRYWALL BEHIND ALL TUBS IS REQUIRED UNLESS THE WALLS ARE WITHIN THE UNIT AND NON-BEARING. BACK TO BACK TUBS WITH A COMMON PLUMBING WALL ARE IMPRACTICAL IN 1-HOUR BUILDINGS.
 - ALL INTERIOR BEARING WALLS SHALL BE CONSTRUCTED OF NOT LESS THAN 1-HOUR FIRE-RESISTIVE CONSTRUCTION. T-601
 - ATTIC ACCESS OPENINGS IN 1-HOUR CEILING CAN BE 2 LAYERS OF 3/4" PLYWOOD OR ONE LAYER OF 1-5/8" T&G MATERIAL, SELF-CLOSING.
 - ALL OPENINGS IN FLOORS ARE REQUIRED TO BE ENCLOSED BY A SHAFT HAVING WALL, FLOOR, AND CEILING OF HOUR FIRE RESISTIVE CONSTRUCTION. 713.1
 - RECESSED CEILING LIGHT FIXTURES MUST BE BOXED AROUND WITH 5/8" TYPE "X" DRYWALL TO MAINTAIN THE 1-HOUR CEILING ASSEMBLY. CONTINUOUS DRYWALL IS REQUIRED BEHIND ALL ELECTRICAL SERVICE PANELS, FIRE HOSES AND MEDICINE CABINETS.
 - EXHAUST FANS FROM THE BATHROOM MUST ENTER THROUGH THE WALL. DAMPERS ARE REQUIRED IF THE CEILING IS PENETRATED 717.5
 - PLUMBING PENETRATION THROUGH HORIZONTAL OCCUPANCY SEPARATIONS SHALL BE BOXED OUT AND FILLED WITH APPROVED SAFING MATERIAL. INSULATION IS NOT APPROVED.
 - PENETRATION OF THE 1 HOUR CEILING BY DUCTS FROM THE FAU AND THE STOVE HOOD REQUIRE DAMPERS (USE A DUCTLESS HOOD WHENEVER POSSIBLE). ATTIC UNITS (INCLUDING HEAT PUMPS) REQUIRE DAMPERS AT ALL CEILING PENETRATIONS 711
 - STEEL BEAMS AND COLUMNS SHALL BE PROTECTED AS REQUIRED FOR 1-HOUR PROTECTION. WHERE CEILING FORMS THE PROTECTIVE MEMBRANE FOR FIRE-RESISTIVE ASSEMBLIES (OCCUPANCY SEPARATIONS AND RATED ROOF/CEILING OR FLOOR/CEILING ASSEMBLIES), THE CONSTRUCTION (FLOOR JOISTS) AND THEIR SUPPORTING HORIZONTAL STRUCTURAL MEMBERS (BEAMS) NEED NOT BE INDIVIDUALLY FIRE PROTECTED EXCEPT WHERE SUCH MEMBERS SUPPORT DIRECTLY APPLIED LOADS FROM MORE THAN ONE FLOOR OR ROOF. THE REQUIRED FIRE RESISTANCE SHALL NOT BE LESS THAN THAT REQUIRED FOR INDIVIDUAL PROTECTION OF MEMBERS. 704.3
 - ALL PLUMBING PENETRATIONS THRU WALLS WHICH REQUIRE PROTECTED OPENINGS (FIRE WALLS, FIRE BARRIERS, FIRE PARTITIONS) ARE REQUIRED TO BE GALVANIZED OR CAST IRON PIPING.

NOTES:

PROVIDE SUPERVISED AUTOMATIC FIRE SPRINKLERS SYSTEM IN ACCORDANCE WITH SECTION NFPA13 THROUGHOUT THE BUILDING (UNDER SEPARATE PERMIT)

PROVIDE FIRE ALARM SYSTEM APPROVED BY THE FIRE DEPARTMENT PRIOR TO INSTALLATION THROUGHOUT THE BUILDING (UNDER SEPARATE PERMIT)

NOTES:

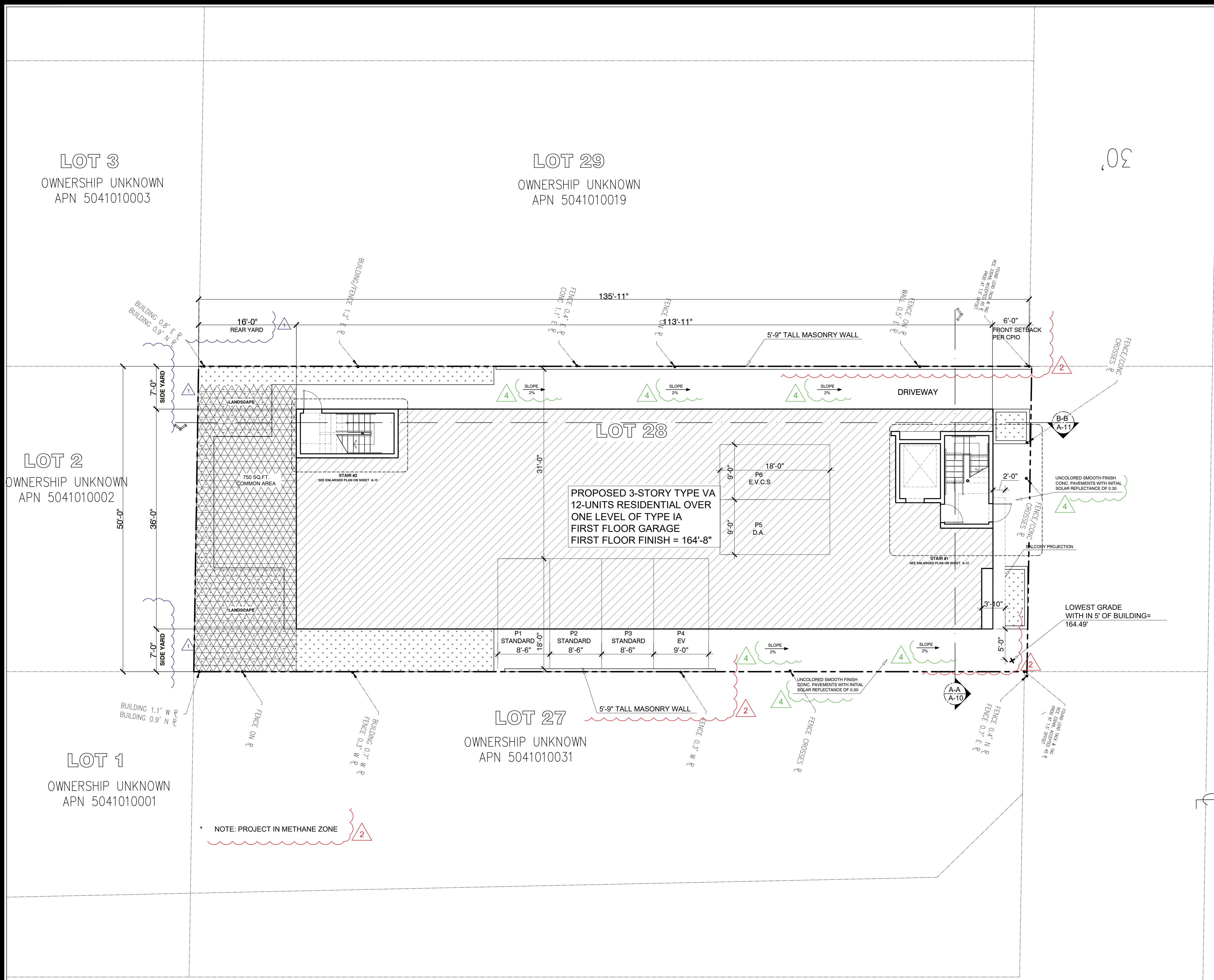
MECHANICALLY VENTILATED BUILDINGS SHALL PROVIDE REGULARLY OCCUPIED AREAS OF THE BUILDING WITH MERV 13 FILTERS FOR OUTSIDE AND RETURN AIR. FILTERS SHALL BE INSTALLED PRIOR TO OCCUPANCY AND RECOMMENDATIONS FOR MAINTENANCE WITH FILTERS OF THE SAME VALUE SHALL BE INCLUDED IN THE OPERATION AND MAINTENANCE MANUAL. (4.504.6)

GRADE PLANE CALCULATIONS:

	NORTH	SOUTH	EAST	WEST
	164.64	165.71	164.64	165.52
	164.80	165.75	164.88	165.37
	164.75	165.65	165.10	165.24
	164.66	-	-	165.08
	164.72	-	-	164.80
	-	-	-	164.49
TOTAL	823.57	497.11	494.62	990.5
AVE.	164.71	165.70	164.87	165.08
		GRADE PLANE		165.09

35TH STREET
(PUBLIC STREET)

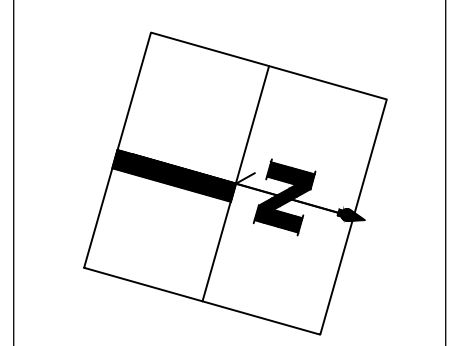
35TH STREET
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SITE PLAN
SCALE: 1/8" = 1'-0"

TITLE SITE PLAN

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A - 01
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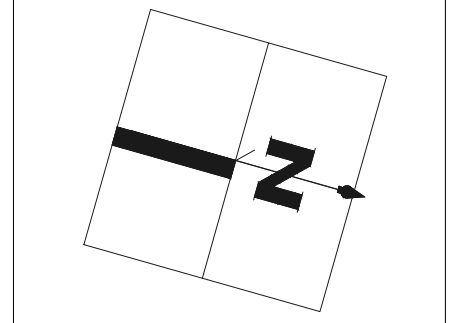
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TITLE: FIRST FLOOR PLAN

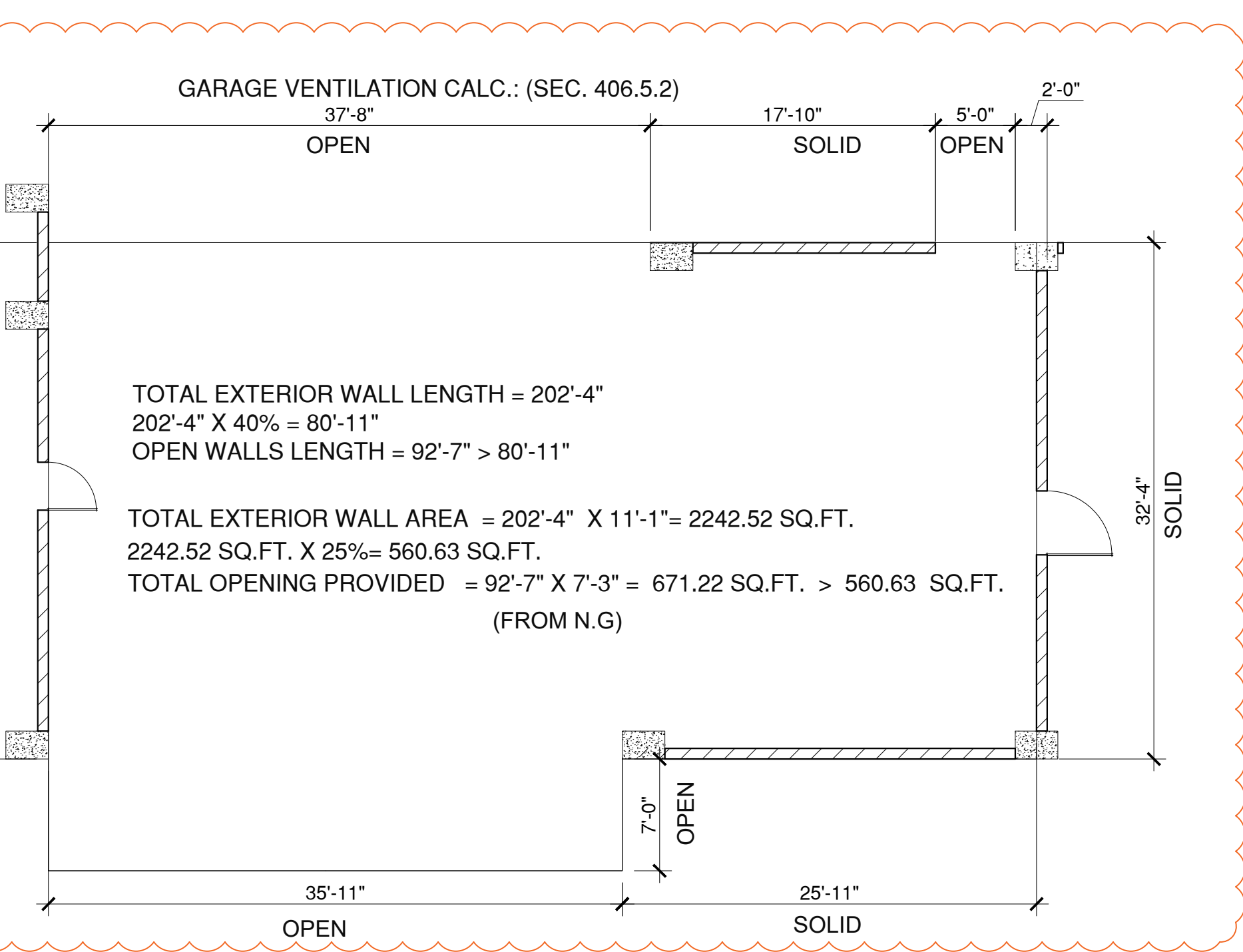
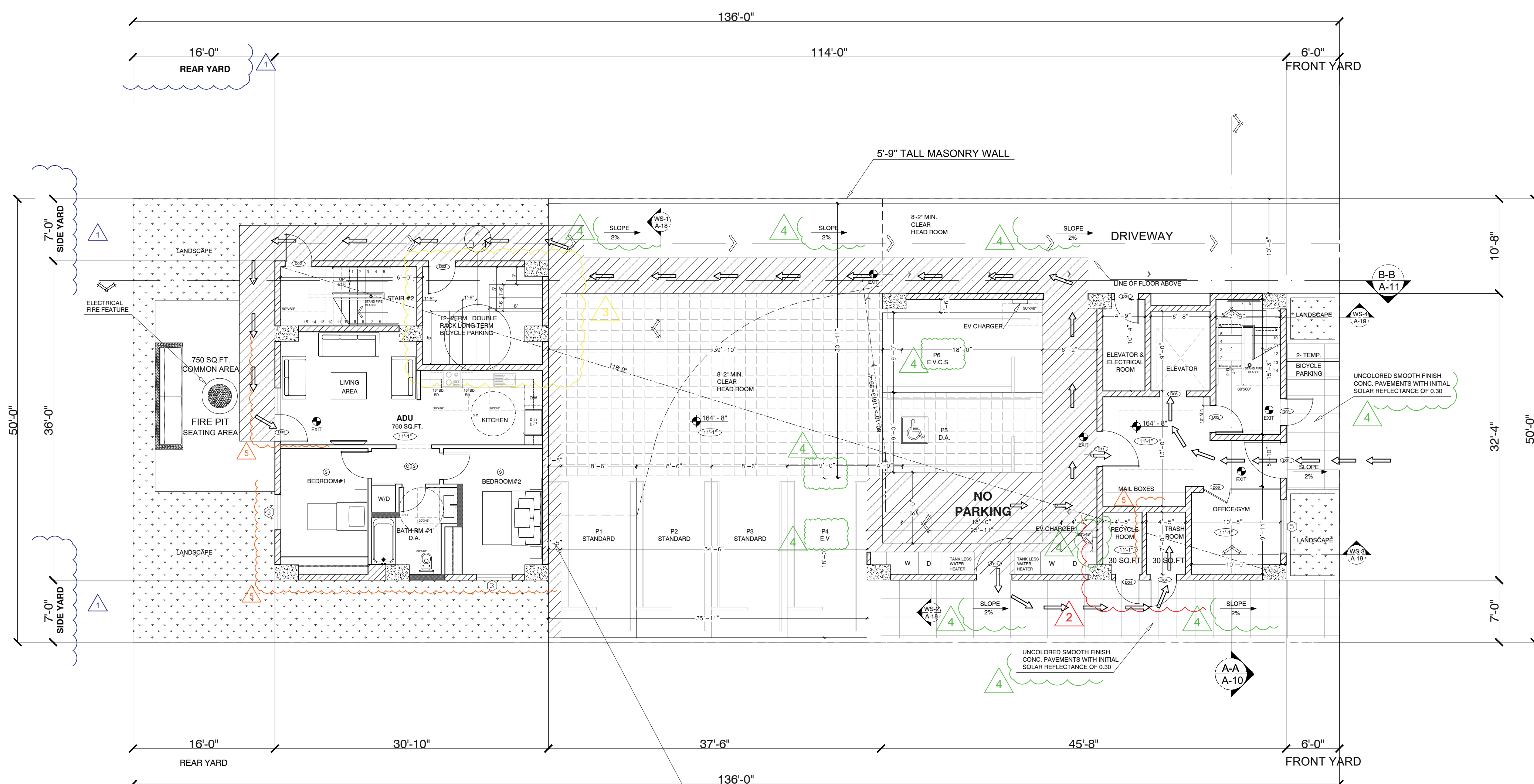
SCALE: 1/8" = 1'-0"



PAGE NO.:

A - 02

ARCHITECTURAL SHEETS



PER L.A.M.C. 12.21A5,
 PAGE 14, #4 "FOR STANDARD STALL WITH ACCESS AISLE
 WIDTH BETWEEN 28 FT. AND 32 FT. YOU CAN DECREASE
 THE 3 FT. INCREASE IN STALL WIDTH OR EXTENSION OF
 THE ACCESS AISLE BY 6 1/2 INCHES PER FOOT OF WIDTH
 OR ACCESS AISLE WIDTH BEYOND 28 FT.
 31-28=3 *6.5" =19.5"
 36 -19.5= 16.5",
 WE PROVIDED 17" END STALL.

		RATIO	REQUIRED	PROVIDED
PARKING	REGULAR PARKING	—	—	4 SPACES
	CLEAN AIR VEHICLE PARKING	(30%)	1 SPACE	1 SPACE
	DISABLE PARKING	(2%)	1 SPACE	1 SPACE
	TOTAL	0.5 PER UNITS (12 UNITS)	6 SPACES	6 SPACES
BICYCLE	LONG TERM BICYCLE	1 PER UNITS (12 UNITS)	12 SPACES	12 SPACES
	SHORT TERM	(10%)	2 SPACES	2 SPACES

EVS NOTES:

- SEE PLANS FOR RACEWAY TERMINATION (S), EVCS, AND EVE CHARGERS.
- ONLY UNDERGROUND RACEWAY AND RELATED UNDERGROUND EQUIPMENT ARE REQUIRED TO BE INSTALLED AT THE TIME OF CONSTRUCTION.
- THE ELECTRICAL SYSTEM SHALL HAVE SUFFICIENT CAPACITY TO SIMULTANEOUSLY CHARGE ALL DESIGNATED EV SPACES AT THE FULL RATED AMPERAGE OF EVCS. PLAN DESIGN SHALL BE BASE UPON A-40 AMPER MINIMUM BRANCH CIRCUITS. A SEPARATE ELECTRICAL PERMIT IS REQUIRED.
- THE SERVICE PANEL OR SUB-PANEL CIRCUIT DIRECTORY SPACE (S) RESERVED FOR FUTURE EV CHARGING PURPOSES AS EV CAPABLE. IN ACCORDANCE WITH LOS ANGELES ELECTRICAL CODE.

- FINISHED FLOOR ELEVATION**
- (A) WINDOW SYMBOL
 - (DOOR) DOOR SYMBOL
 - (X) CEILING/FINISH SYMBOL
 - (S) SMOKE DETECTORS ARE HARD WIRED WITH BATTERY BACKUP AND INTERCONNECTED.
 - (C) AN APPROVED SMOKE ALARM SHALL BE INSTALLED IN EACH SLEEPING ROOM & HALLWAY OR AREA GIVING ACCESS TO A SLEEPING ROOM. AND ON EACH STORY AND BASEMENT FOR DWELLINGS WITH MORE THAN ONE STORY. SMOKE ALARMS SHALL BE INTERCONNECTED SO THAT ACTUATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS WITHIN THE INDIVIDUAL DWELLING UNIT. IN NEW CONSTRUCTION SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER SOURCE FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERY BACK-UP AND LOW BATTERY SIGNAL. (R314)
 - (C) COMBINED CARBON MONOXIDE, AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED IN DWELLING UNITS AND IN SLEEPING UNITS WITHIN WHICH FUEL-BURNING APPLIANCES ARE INSTALLED AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES. CARBON MONOXIDE ALARM SHALL BE PROVIDED OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM(S) AND ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS (R315)
 - (C) 5 AIR EXCHANGE PER MINUTE MIN. EXHAUST FAN AND FLORESCENT LIGHT FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING. FANS NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL.
 - (EVS) EVS SEE NOTES
 - 00.00 EXISTING GRADE ELEVATION
 - T.W. TOP OF WALL
 - F.F. FINISHED FLOOR
 - E.F.G. EXISTING FINISH GRADE
 - T.D. TOP OF DRAIN
 - A.D. AREA DRAIN
 - LINE OF WALL ABV.
 - PROPERTY LINE
 - REQUIRED SETBACK LINE
 - 2-HR 50 STC WALL SEE DETAIL 7A/D-02 FIRE BARRIER
 - 2-HR 50 STC WALL SEE DETAIL 7B/D-02 FIRE BARRIER (PLB'S WALL)
 - 1-HR 50 STC WALL SEE DETAIL 8A/D-02 FIRE BARRIER
 - 1-HR 50 STC WALL SEE DETAIL 8B/D-02 FIRE BARRIER (PLB'S WALL)
 - 8" SOLID GROUTED CONCRETE BLOCK WALL
 - 1-HR RATED WOOD FRAMING. PROVIDE X6 MIN. WOOD FRAMING FOR ALL PLUMBING WALLS
 - CONCRETE WALL SEE STRUCTURAL PLANS FOR MORE INFORMATION.
 - INDICATES EXTENT OF COFFERED CEILING. SEE PLAN FOR HEIGHT(S).

NOTES:

"THIS BUILDING SHALL BE PROVIDED WITH A MANUAL ALARM SYSTEM WITH THE CAPABILITY TO SUPPORT VISIBLE ALARM NOTIFICATION APPLIANCES IN ACCORDANCE WITH NFPA 72". 907.2.9, 907.5.2.3.3, 907.5.2.3.4
 "DOUBLE STRIPING OF STALLS SHALL BE PER ZONING CODE SECTION 12.21A5, CHART NO. 5."

NOTES:

ALL DOOR BELLS HAVE TO BE HARD WIRED.

NOTES:

PROVIDE SUPERVISED AUTOMATIC FIRE SPRINKLERS SYSTEM IN ACCORDANCE WITH SECTION NFPA13 THROUGHOUT THE BUILDING (UNDER SEPARATE PERMIT)
 PROVIDE FIRE ALARM SYSTEM APPROVED BY THE FIRE DEPARTMENT PRIOR TO INSTALLATION THROUGHOUT THE BUILDING (UNDER SEPARATE PERMIT)

OCCUPANCY S2 (PARKING)
 OCC. LOAD: 2,475 SQ. FT./200=13
 13<20 TWO EXITS REQUIRED.
 13<50 REQUIRED EXIT WIDTH 36"
 13<50 REQUIRED EXIT WIDTH 36"
 EXIT ACCESS TRAVEL DISTANCE: 400'
 MAX. COMMON PATH OF EGRESS TRAVEL DISTANCE: 118'-0"

TABLE 1004.1.2
 TABLE 1006.3.2(2)
 (SEC. 1011.2 EXP.1)
 TABLE 1020.2
 TABLE 1017.2
 TABLE 1006.3.2(2)

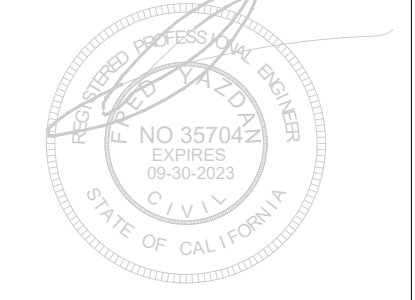
FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"

City of Los Angeles
 Department of Building & Safety
 PLAN CHECK APPROVED FOR ZONING
 By: Manuel Montufar
 Date: 03/15/2023
 Application No.: 2010-10000-04913

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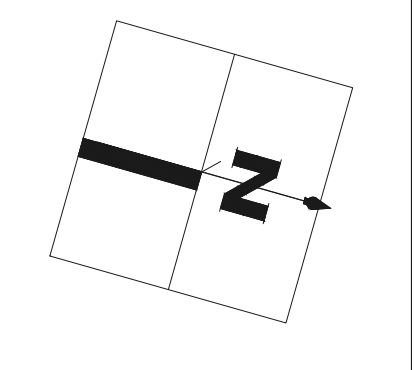
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 1408 W 35TH ST,
 LOS ANGELES,
 CA 90018

DESCRIPTION:

REV.1	DATE:	09/07/2022
REV.2	DATE:	11/04/2022
REV.3	DATE:	11/21/2022
REV.4	DATE:	02/07/2023
REV.5	DATE:	02/16/2023

TITLE TYPICAL FLOOR PLAN

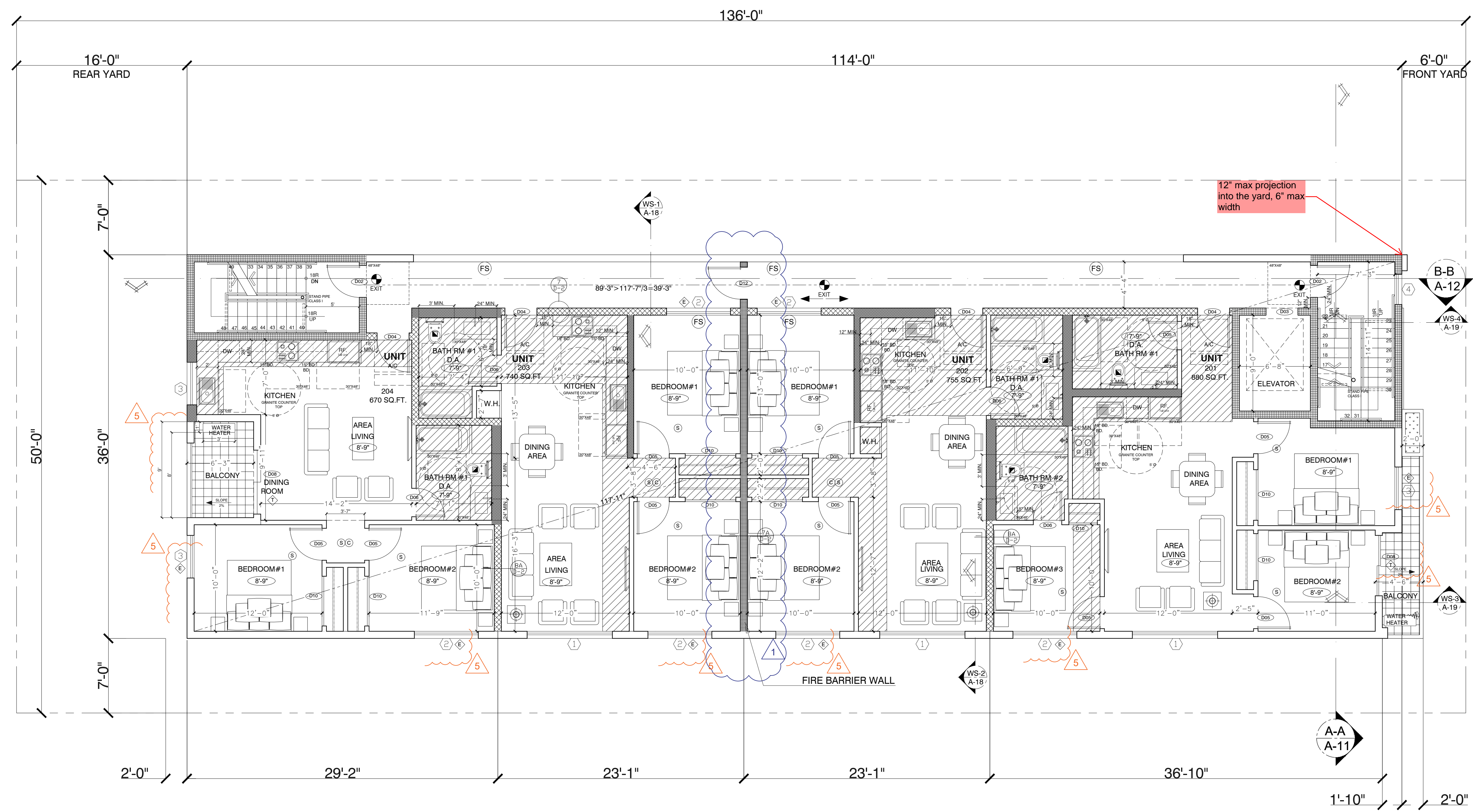
SCALE 3/16" = 1'-0"



PAGE NO.:

A - 03

ARCHITECTURAL SHEETS



12' max projection into the yard, 6' max width

- EXIT SYMBOL
- FINISHED FLOOR ELEVATION
- WINDOW SYMBOL
- DOOR SYMBOL
- CEILING/FINISH SYMBOL
- SMOKE DETECTORS ARE HARD WIRED WITH BATTERY BACKUP AND INTERCONNECTED. AN APPROVED SMOKE ALARM SHALL BE INSTALLED IN EACH SLEEPING ROOM & HALLWAY OR AREA GIVING ACCESS TO A SLEEPING ROOM, AND ON EACH STORY AND BASEMENT FOR DWELLINGS WITH MORE THAN ONE STORY. SMOKE ALARMS SHALL BE INTERCONNECTED SO THAT ACTIVATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS WITHIN THE INDIVIDUAL DWELLING UNIT. IN NEW CONSTRUCTION SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER SOURCE FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERY BACK-UP AND LOW BATTERY SIGNAL. (R314)
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- 5 AIR EXCHANGE PER MINUTE MIN. EXHAUST FAN AND FLORESCENT LIGHT FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING. FANS NOT FUNCTIONING AS A COMPONENT OF A WHOLE-HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL.
- WATER CURTAIN INSTALLED IN ACCORDANCE WITH SEC. 903.3.1.1
- EGRESS WINDOW
- EXISTING GRADE ELEVATION
- TOP OF WALL
- FINISHED FLOOR
- EXISTING FINISH GRADE
- TOP OF DRAIN
- AREA DRAIN
- LINE OF WALL ABV.
- PROPERTY LINE
- REQUIRED SETBACK LINE
- 2-HR 50 STC WALL SEE DETAIL 7A/D-02 FIRE BARRIER
- 2-HR 50 STC WALL SEE DETAIL 7B/D-02 FIRE BARRIER (PLB'S WALL)
- 1-HR 50 STC WALL SEE DETAIL 8A/D-02 FIRE BARRIER
- 1-HR 50 STC WALL SEE DETAIL 8B/D-02 FIRE BARRIER (PLB'S WALL)
- 8" SOLID GROUTED CONCRETE BLOCK WALL
- 1-HR RATED WOOD FRAMING. PROVIDE X6 MIN. WOOD FRAMING FOR ALL PLUMBING WALLS.
- CONCRETE WALL SEE STRUCTURAL PLANS FOR MORE INFORMATION.
- INDICATES EXTENT OF COFFERED CEILING, (15' HEIGHT)

NOTES:
 THIS BUILDING SHALL BE PROVIDED WITH A MANUAL ALARM SYSTEM WITH THE CAPABILITY TO SUPPORT VISIBLE ALARM NOTIFICATION APPLIANCES IN ACCORDANCE WITH NFPA 72, 907.2.9, 907.5.2.3.3, 907.5.2.3.4

NOTES:
 ALL DOOR BELLS HAVE TO BE HARD WIRED.

SECOND FLOOR PLAN

SCALE: 3/16" = 1'-0"

NOTES:
 PROVIDE SUPERVISED AUTOMATIC FIRE SPRINKLERS SYSTEM IN ACCORDANCE WITH SECTION NFPA13 THROUGHOUT THE BUILDING (UNDER SEPARATE PERMIT) PROVIDE FIRE ALARM SYSTEM APPROVED BY THE FIRE DEPARTMENT PRIOR TO INSTALLATION THROUGHOUT THE BUILDING (UNDER SEPARATE PERMIT)

NOTES:
 KITCHEN OUTLET AND SWITCH WHEN OVER COUNTER REQUIRED WITHIN OBSTRUCTED REACH RANGE. REF 1136A.3.1.2 AND 1136A.3.2.2. CABINET WITH FRONT AND SIDE APPROACH WITH KNEE AND TOE CLEARANCE CANNOT BE MORE THAN 25". REF 1136A.1, 1136A.2, SEE A-03 TO A

NOTES:
 ALL DOOR THRESHOLD AND PATH OF TRAVEL TO ENTRY/EXIT DOOR REQUIRED 1/2" INCH MAX LEVEL CHANGE AND/OR 1/4" INCH WITH BEVELED WITH A SLOPE NOT STEEPER THAN 1:2 RATIO. IF THERE IS ANY LEVEL CHANGE MORE THAN REQUIRE HEIGHT AND/OR SLOPE MORE THAN 1/4" AT ENTRANCE, PLEASE INFORM PLAN CHECKER. REF .1121A, 1126A.2-1, 1126A.3.

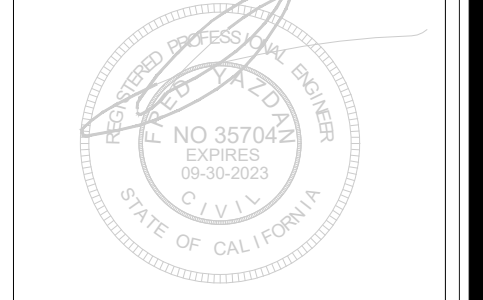
NOTES:
 FOR COMMON RESTROOMS, NO PICTOGRAMS AND BRAILLE ON DOOR SIGNS, ONLY GEOMETRIC SHAPE. REF 116-703.7.2.6.1 TO 3.

BMPs NOTE:
 ALL ROOF RUNOFF TO DRAIN TO PLANTER BOX
 ALL DOWNSPOUTS TO DRAIN TO PLANTER BOX
 ANY CHANGES (TYPE, SIZE, LOCATION) TO APPROVED STORM WATER BEST MANAGEMENT PRACTICE(S) (BMPs) MUST OBTAIN WRITTEN APPROVAL FROM LOS ANGELES DEPARTMENT OF PUBLIC WORKS. BUREAU OF SANITATION PRIOR TO CONSTRUCTION OF BMPs.

OCCUPANCY R2 (APARTMENT)
 OCC. LOAD: 3652.4 SQ. FT./200=19
 19-29 ONE EXITS REQUIRED, TABLE 1004.1.2
 19-50 REQUIRED EXIT WIDTH 36" (SEC. 1011.2 EXP.1) TABLE 1006.3.2(2)
 19-50 REQUIRED EXIT WIDTH 36" TABLE 1020.2
 EXIT ACCESS TRAVEL DISTANCE: 250' TABLE 1017.2
 MAX. COMMON PATH OF EGRESS TRAVEL DISTANCE: 90'-4" TABLE 1006.3.2(2)



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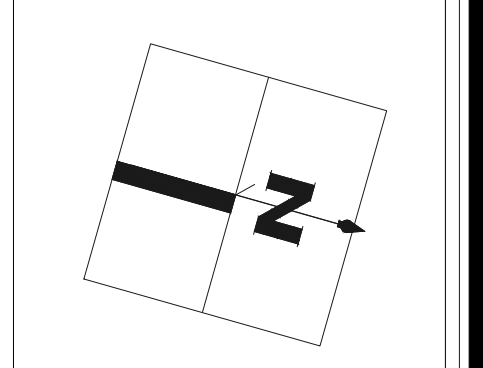
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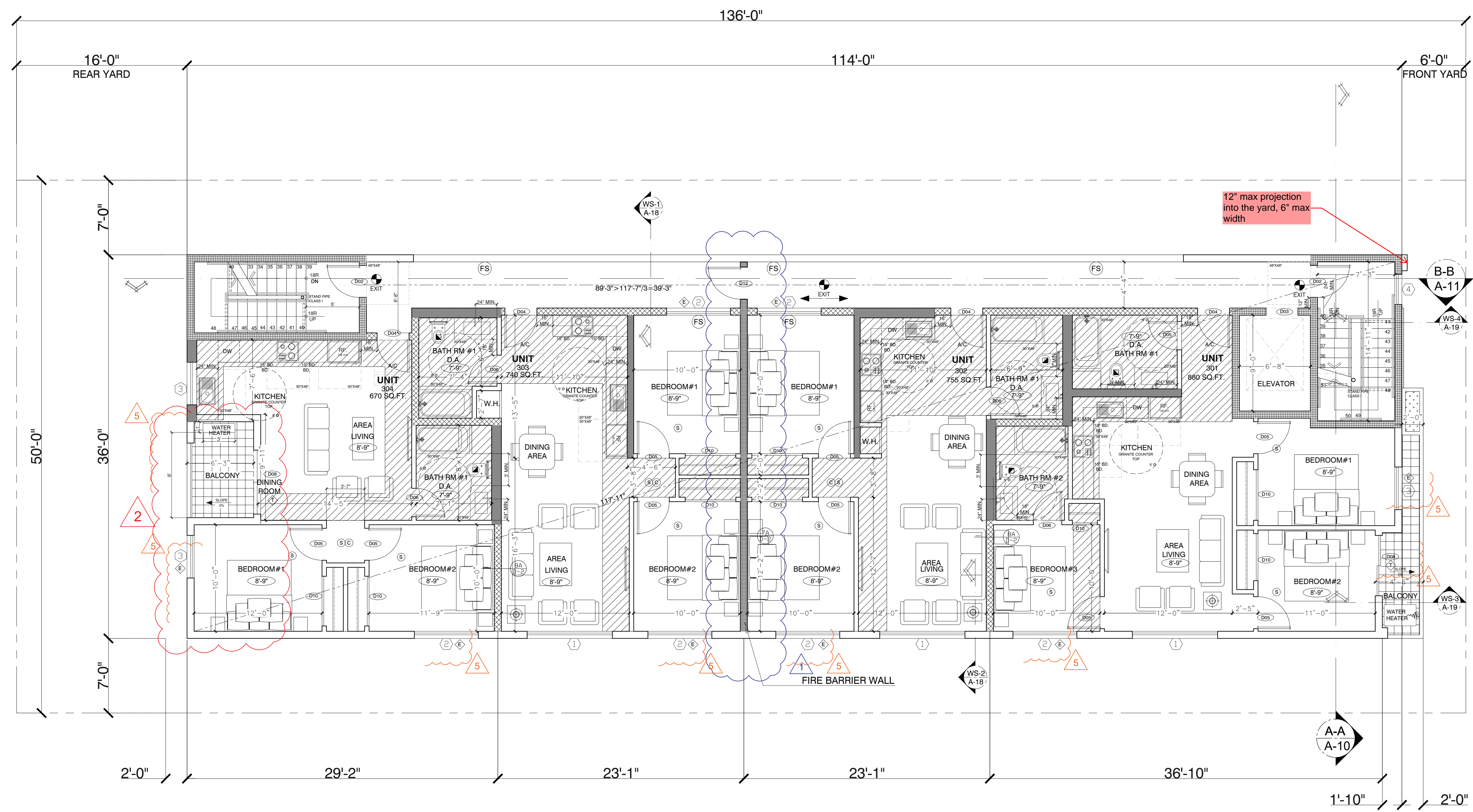
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REV.3	DATE: 11/21/2022
REV.4	DATE: 02/07/2023
REV.5	DATE: 02/16/2023

TITLE: TYPICAL FLOOR PLAN

SCALE: 3/16" = 1'-0"



PAGE NO.:
A - 04
ARCHITECTURAL SHEETS



THIRD FLOOR PLAN

SCALE: 3/16" = 1'-0"

NOTES:

PROVIDE SUPERVISED AUTOMATIC FIRE SPRINKLERS SYSTEM IN ACCORDANCE WITH SECTION NFPA13 THROUGHOUT THE BUILDING (UNDER SEPARATE PERMIT) PROVIDE FIRE ALARM SYSTEM APPROVED BY THE FIRE DEPARTMENT PRIOR TO INSTALLATION THROUGHOUT THE BUILDING (UNDER SEPARATE PERMIT)

NOTES:

KITCHEN OUTLET AND SWITCH WHEN OVER COUNTER REQUIRED WITHIN OBSTRUCTED REACH RANGE. REF 1138A.3.1.2 AND 1138A.3.2.2. CABINET WITH FRONT AND SIDE APPROACH WITH KNEE AND TOE CLEARANCE CANNOT BE MORE THAN 25". REF 1138A, 1136A.2, SEE A-03 TO A

NOTES:

ALL DOOR THRESHOLD AND PATH OF TRAVEL TO ENTRY/EXIT DOOR REQUIRED 1/2" INCH MAX LEVEL CHANGE AND/OR 1/4" INCH WITH BEVELED WITH A SLOPE NOT STEEPER THAN 1:2 RATIO. IF THERE IS ANY LEVEL CHANGE MORE THAN REQUIRE HEIGHT AND/OR SLOPE MORE THAN 1/4" AT ENTRANCE, PLEASE INFORM PLAN CHECKER. REF .1121A, 1126A.2-1, 1126A.3.

NOTES:

FOR COMMON RESTROOMS, NO PICTOGRAMS AND BRAILLE ON DOOR SIGNS, ONLY GEOMETRIC SHAPE. REF 116-703.7.2.6.1 TO 3.

BMPs NOTE:

ALL ROOF RUNOFF TO DRAIN TO PLANTER BOX
ALL DOWNSPOUTS TO DRAIN TO PLANTER BOX
ANY CHANGES (TYPE, SIZE, LOCATION) TO APPROVED STORM WATER BEST MANAGEMENT PRACTICE(S) (BMPs) MUST OBTAIN WRITTEN APPROVAL FROM LOS ANGELES DEPARTMENT OF PUBLIC WORKS. BUREAU OF SANITATION PRIOR TO CONSTRUCTION OF BMPs.

OCCUPANCY R2 (APARTMENT)

OCC. LOAD: 3652.4 SQ. FT./200=19	TABLE 1004.1.2
19x29 ONE EXITS REQUIRED,	TABLE 1006.3.2(2)
19x50 REQUIRED EXIT WIDTH 36"	(SEC. 1011.2 EXP.1)
19x50 REQUIRED EXIT WIDTH 36"	TABLE 1020.2
EXIT ACCESS TRAVEL DISTANCE: 250'	TABLE 1017.2
MAX. COMMON PATH OF EGRESS TRAVEL DISTANCE: 90'-4"	TABLE 1006.3.2(2)

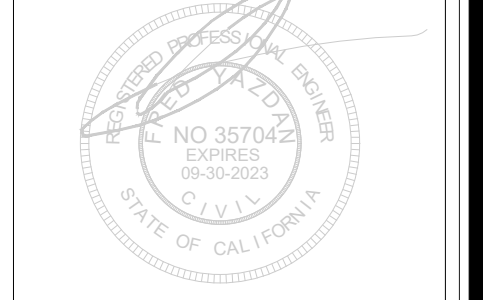
- EXIT SYMBOL
- FINISHED FLOOR ELEVATION
- WINDOW SYMBOL
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- SMOKE DETECTORS ARE HARO WIRED WITH BATTERY BACKUP AND INTERCONNECTED. AN APPROVED SMOKE ALARM SHALL BE INSTALLED IN EACH SLEEPING ROOM & HALLWAY OR AREA GIVING ACCESS TO A SLEEPING ROOM, AND ON EACH STORY AND BASEMENT FOR DWELLINGS WITH MORE THAN ONE STORY. SMOKE ALARMS SHALL BE INTERCONNECTED SO THAT ACTUATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS WITHIN THE INDIVIDUAL DWELLING UNIT. IN NEW CONSTRUCTION SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER SOURCE FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERY BACK-UP AND LOW BATTERY SIGNAL. (R314)
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- WATER CURTAIN INSTALLED IN ACCORDANCE WITH SEC. 903.3.1.1
- EXISTING GRADE ELEVATION
- TOP OF WALL
- FINISHED FLOOR
- EXISTING FINISH GRADE
- TOP OF DRAIN
- AREA DRAIN
- LINE OF WALL ABV.
- PROPERTY LINE
- REQUIRED SETBACK LINE
- 2-HR 50 STC WALL SEE DETAIL 7A/D-02 FIRE BARRIER
- 2-HR 50 STC WALL SEE DETAIL 7B/D-02 FIRE BARRIER (PLB'S WALL)
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- 1-HR 50 STC WALL SEE DETAIL 8B/D-02 FIRE BARRIER (PLB'S WALL)
- 8" SOLID GROUTED CONCRETE BLOCK WALL
- 1-HR RATED WOOD FRAMING. PROVIDE X6 MIN. WOOD FRAMING FOR ALL PLUMBING WALLS.
- CONCRETE WALL SEE STRUCTURAL PLANS FOR MORE INFORMATION.
- INDICATES EXTENT OF COFFERED CEILING. (15' HEIGHT)

NOTES:
THIS BUILDING SHALL BE PROVIDED WITH A MANUAL ALARM SYSTEM WITH THE CAPABILITY TO SUPPORT VISIBLE ALARM NOTIFICATION APPLIANCES IN ACCORDANCE WITH NFPA 72, 907.2.9, 907.5.2.3.3, 907.5.2.3.4

NOTES:
ALL DOOR BELLS HAVE TO BE HARO WIRED.



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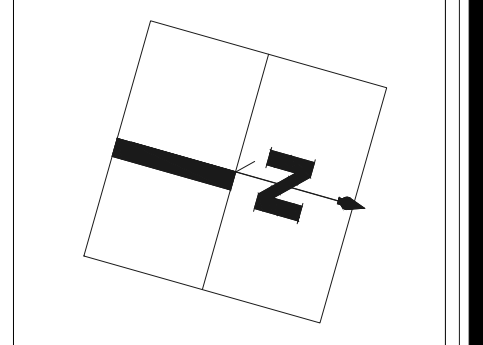
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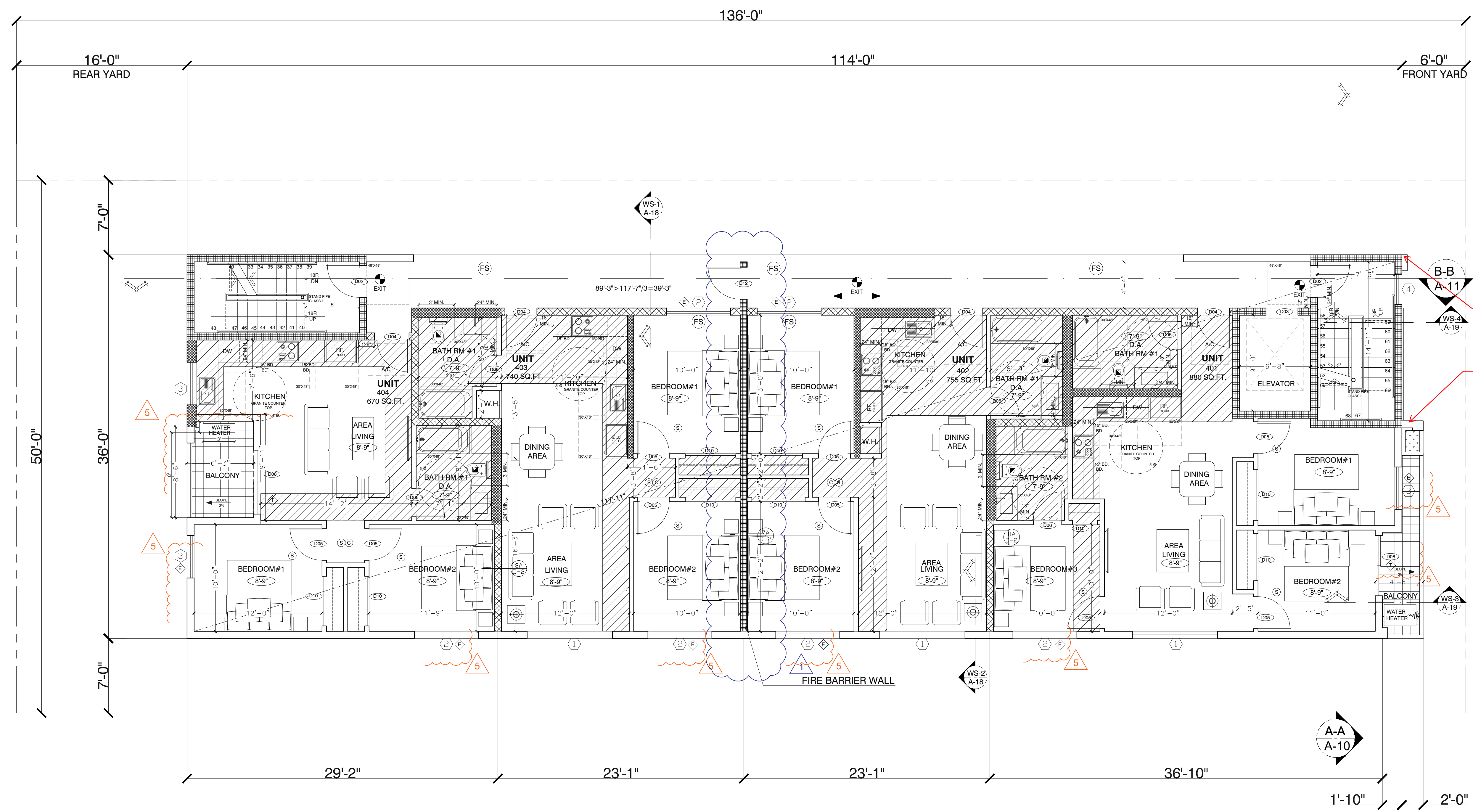
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REV.5	DATE: 02/16/2023

TITLE: TYPICAL FLOOR PLAN

SCALE: 3/16" = 1'-0"



PAGE NO.:
A - 05
ARCHITECTURAL SHEETS



- EXIT SYMBOL
- FINISHED FLOOR ELEVATION
- WINDOW SYMBOL
- DOOR SYMBOL
- CEILING/FINISH SYMBOL
- SMOKE DETECTORS ARE HARO WIRED WITH BATTERY BACKUP AND INTERCONNECTED.
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- WATER CURTAIN INSTALLED IN ACCORDANCE WITH SEC. 903.3.1.1
- EXISTING GRADE ELEVATION
- TOP OF WALL
- FINISHED FLOOR
- EXISTING FINISH GRADE
- TOP OF DRAIN
- AREA DRAIN
- LINE OF WALL ABV.
- PROPERTY LINE
- REQUIRED SETBACK LINE
- 2-HR 50 STC WALL SEE DETAIL 7A/D-02 FIRE BARRIER
- 2-HR 50 STC WALL SEE DETAIL 7B/D-02 FIRE BARRIER (PLB'S WALL)
- 1-HR 50 STC WALL SEE DETAIL 8A/D-02 FIRE BARRIER
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- CONCRETE WALL SEE STRUCTURAL PLANS FOR MORE INFORMATION.
- INDICATES EXTENT OF COFFERED CEILING, (15'HEIGHT)

NOTES:
THIS BUILDING SHALL BE PROVIDED WITH A MANUAL ALARM SYSTEM WITH THE CAPABILITY TO SUPPORT VISIBLE ALARM NOTIFICATION APPLIANCES IN ACCORDANCE WITH NFPA 72, 907.2.9, 907.5.2.3.3, 907.5.2.3.4

NOTES:
BUILDINGS SHALL HAVE APPROVED RADIO COVERAGE FOR EMERGENCY RESPONDERS. SEE LOS ANGELES FIRE CODE SECTION 510 FOR MORE DETAILS.

NOTES:
ALL DOOR BELLS HAVE TO BE HARD WIRED.

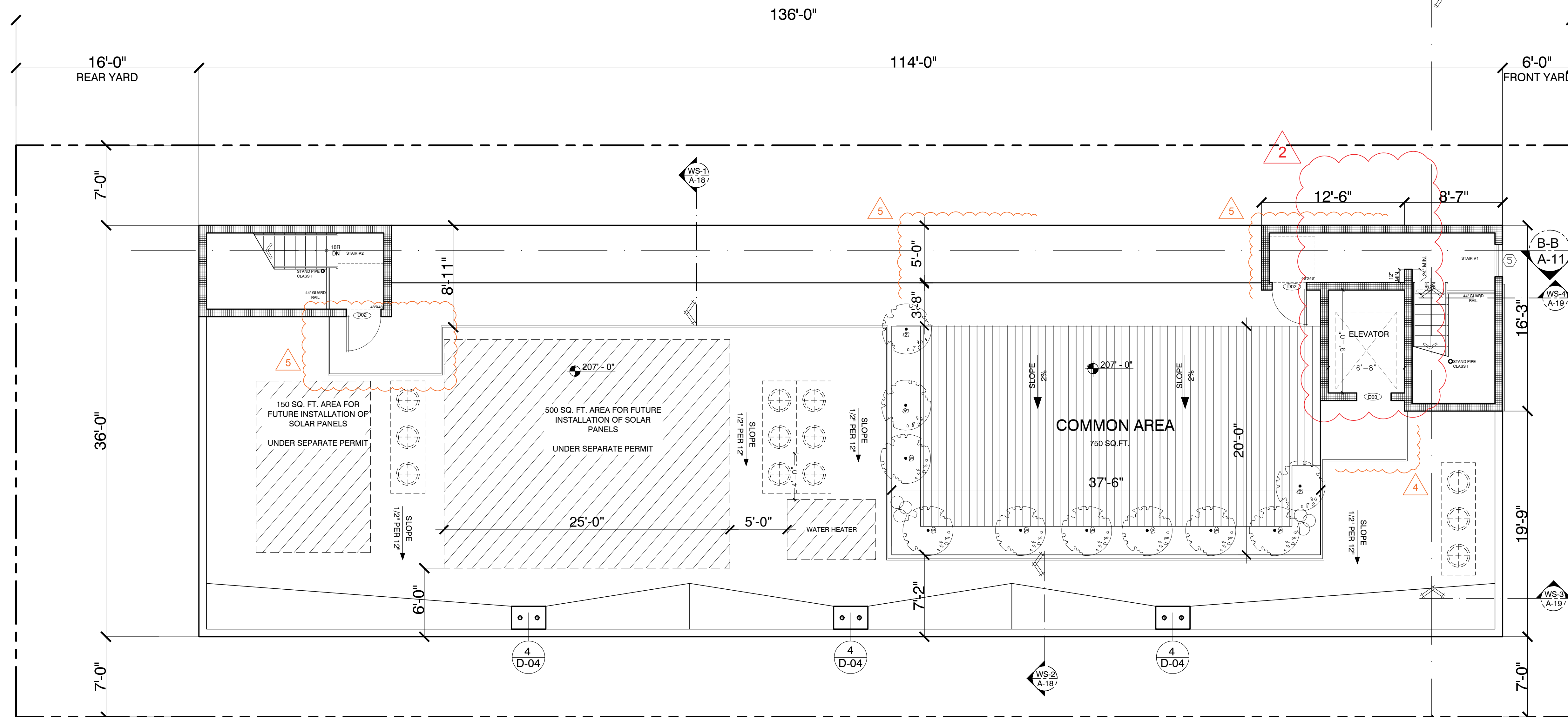
FOURTH FLOOR PLAN

SCALE: 3/16" = 1'-0"

NOTES:
PROVIDE SUPERVISED AUTOMATIC FIRE SPRINKLERS SYSTEM IN ACCORDANCE WITH SECTION NFPA13 THROUGHOUT THE BUILDING (UNDER SEPARATE PERMIT)
PROVIDE FIRE ALARM SYSTEM APPROVED BY THE FIRE DEPARTMENT PRIOR TO INSTALLATION THROUGHOUT THE BUILDING (UNDER SEPARATE PERMIT)

OCCUPANCY R2 (APARTMENT)
OCC. LOAD: 3652.4 SQ. FT./200-19
19-29 ONE EXITS REQUIRED, TABLE 1004.1.2
19-50 REQUIRED EXIT WIDTH 36" (SEC. 1011.2 EXP.1) TABLE 1006.3.2(2)
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EXIT ACCESS TRAVEL DISTANCE: 250' TABLE 1017.2
MAX. COMMON PATH OF EGRESS TRAVEL DISTANCE: 90'-4" TABLE 1006.3.2(2)

BMPs NOTE:
ALL ROOF RUNOFF TO DRAIN TO PLANTER BOX
ALL DOWNSPOUTS TO DRAIN TO PLANTER BOX
ANY CHANGES (TYPE SIZE LOCATION) TO APPROVED STORM WATER BEST MANAGEMENT PRACTICE(S) (BMPs) MUST OBTAIN WRITTEN APPROVAL FROM LOS ANGELES DEPARTMENT OF PUBLIC WORKS. BUREAU OF SANITATION PRIOR TO CONSTRUCTION OF BMPs.



ROOF FLOOR PLAN

SCALE: 3/16" = 1'-0"

GREEN BUILDING SOLAR ROOF NOTES:

ROOF AREA: 4,105 SQ. FT.
 15% REQUIRED: 616 SQ. FT.
 AREA PROVIDED: 650 SQ. FT.

COMMON AREA TABLE (12 UNITS RESIDENTIAL)

	RATIO	UNITS	REQUIRED
LESS THAN 3 HABITABLE ROOM UNIT	100 SQ. FT. PER UNIT	0	0 SQ.FT.
3 HABITABLE ROOM UNIT	125 SQ. FT. PER UNIT	9 * 125	1125 SQ.FT.
4 HABITABLE ROOM UNIT	175 SQ. FT. PER UNIT	3 * 175	525 SQ.FT.
TOTAL			1650 SQ.FT.

GLASKAP CR
Fiber Glass-Reinforced, BUR Mineral-Surfaced, Cool Roof Cap of Flashing Sheet

Meets the requirements of ASTM D 2090

Features and Components:
 Glaskap CR is intended to be used as a cap sheet in built-up roofing systems.

Green Building Benefits:
 Glaskap CR is a cool roof technology that reflects the sun's UV radiation and reduces heat absorption, resulting in energy savings and lower cooling costs.

High Quality Asphalt Coating:
 Glaskap CR is coated with a high-quality asphalt coating that provides long-term protection and durability.

Fiber Glass Reinforcement Mat:
 Glaskap CR is reinforced with a high-strength fiber glass mat that provides additional strength and durability.

Color:
 Glaskap CR is available in a variety of colors to match your building's exterior.

GLASKAP CR
Fiber Glass-Reinforced, Acrylic-Coated Cool Roof Cap Sheet

Meets the requirements of ASTM D 2090

Physical Properties:

Property	ASTM Test Method	Minimum by ASTM D 2090 (Min)	Glaskap CR
Tensile Strength	D 2090	>500 lb	700 lb (20 kg)
Elongation at Break	D 2090	+12.5% (Min)	22.5% (Min)
Tensile Modulus	D 2090	+1.1 lb/1000"	1.85 lb/1000" (86 kg/cm²)
Modulus of Elasticity	D 2090	+1.1 lb/1000"	24.8 lb/1000"
Modulus of Rupture	D 2090	+1.1 lb/1000"	24.8 lb/1000"
Modulus of Tensile	D 2090	+1.1 lb/1000"	24.8 lb/1000"
Modulus of Compression	D 2090	+1.1 lb/1000"	24.8 lb/1000"

System Compatibility:
 Glaskap CR is compatible with all major roofing systems.

Energy and the Environment:
 Glaskap CR is a cool roof technology that reflects the sun's UV radiation and reduces heat absorption, resulting in energy savings and lower cooling costs.

Installation/ Application:
 Glaskap CR is installed over a prepared substrate.

Codes and Approvals:
 Glaskap CR is approved for use in all major markets.

City of Los Angeles
 Department of Building & Safety
PLAN CHECK APPROVED FOR ZONING
 By: Manuel Montufar
 Date: 03/15/2023
 Application No.: 22010-10000-04913

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DESCRIPTION:

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CLASS "A" ROOFING
 CERTAINTEE COMMERCIAL ROOFING
 MANUFACTURER'S MODEL# APP-I-3-T
 ICC-ES ESR-1388
 SRI VALUE OF AT LEAST 75 OR BOTH A
 3-YEAR SOLAR REFLECTANCE OF AT LEAST
 0.63 AND A THERMAL EMITTANCE OF AT
 LEAST 0.75

A/C EQUIPMENT
 30" HIGH
 LESS THAN 400#
 (TYP.)

WATER HEATER
 PLATFORM
 WITH EQUIPMENT
 48" HIGH

PROVIDE ROOF TIE BACK.
 PROVIDE CONSTRUCTION
 PASSANGER HOIST ELEVATOR

GREEN BUILDING SOLAR ROOF NOTES:
 ROOF AREA: 4000 SQ. FT.
 15% REQUIRED: 600 SQ. FT.
 AREA PROVIDED: 610 SQ. FT.

NOTES:
 CAL-OSHA PERMIT REQUIRES THE GENERAL
 CONTRACTOR TO ASK THE FOLLOWING
 CONTRACTORS TO OBTAIN PERMIT BEFORE
 BEFORE
 STARTING CONSTRUCTION:
 1. FRAMING CONTRACTOR
 2. EXCAVATION OR GRADING CONTRACTOR
 3. SCAFFOLDING CONTRACTOR

- ROOF TIE BACKS ARE REQUIRED WHEN THE
 BUILDING IS OVER 48 FT. IN HEIGHT TITLE 8 SEC.
 3291(f)
 - SCAFFOLDING SUSPENSION DAVITS, OUTRIGGERS
 OR OTHER METHODS ARE REQUIRED WHEN THE
 BUILDING IS OVER 60 FT. IN HEIGHT. TITLE 8 SEC.
 3282

- PARAPET/ GUARDRAILS SHALL BE PROVIDED ON
 ALL OPEN SIDES OF UNENCLOSED ELEVATED WORK
 LOCATIONS AS PER CCR TITLE 8 SECTION 3210(a)
 - CAVE-IN PROTECTION IS REQUIRED FOR ALL
 EXCAVATIONS EXCEPT FOR THOSE LESS THAN 5 FT.
 IN DEPTH AND EXAMINATION OF THE GROUND BY A
 COMPETENT PERSON PROVIDES NO INDICATION OF
 POTENTIAL CAVE-IN PER TITLE 8 SECTION 154.1
 - DAILY INSPECTIONS OF EXCAVATIONS, THE
 ADJACENT AREAS, AND PROTECTIVE SYSTEMS
 SHALL BE MADE BY A COMPETENT PERSON PER
 TITLE 8 SECTION 1541(k)

NOTES:
 PROVIDE SUPERVISED AUTOMATIC
 FIRE SPRINKLERS SYSTEM IN ACCORDANCE
 WITH SECTION NFPA13
 THROUGHOUT THE BUILDING
 (UNDER SEPARATE PERMIT)
 PROVIDE FIRE ALARM SYSTEM APPROVED
 BY THE FIRE DEPARTMENT PRIOR TO
 INSTALLATION THROUGHOUT THE BUILDING
 (UNDER SEPARATE PERMIT)

NOTES:
 ALL DOOR BELLS HAVE TO BE HARD WIRED.

OCCUPANCY R2
 OCC. LOAD: 525 SQ. FT./15=35
 35=50 TWO EXITS REQUIRED, TABLE 1006.3.2(2)
 19=50 REQUIRED EXIT WIDTH 36" (SEC. 1011.2 EXP. 1)
 19=50 REQUIRED EXIT WIDTH 36" TABLE 1020.2
 EXIT ACCESS TRAVEL DISTANCE: 250' TABLE 1017.2
 MAX. COMMON PATH OF EGRESS
 TRAVEL DISTANCE: 98'-8" TABLE 1006.3.2(2)

ROOF AND DRAIN NOTES:
 USE CHAPTER 11 OF THE LAPC TO SIZE THE DRAINS
 AND OVERFLOWS.

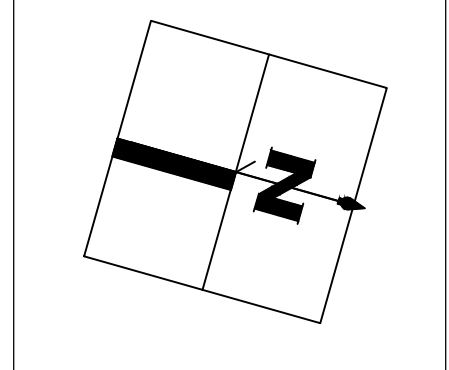
THE ROOF DRAIN AND OVERFLOW DRAIN MUST BE
 INDEPENDENTS LINE TO A YARD BOX.

ROOF DRAINAGE IS NOT PERMITTED TO FLOW OVER
 PUBLIC PROPERTY. IT MUST BE CONDUCTED UNDER
 SIDEWALK.

OVERFLOW SCUPPERS SHALL BE DESIGNED IN
 ACCORDANCE TO TABLE 11-1 LAPC AND SHALL
 BE LOCATED NOT MORE THAN 2' ABOVE THE LOW
 POINT OF THE ROOF.

TITLE
ROOF FLOOR PLAN

SCALE
 3/16" = 1'-0"

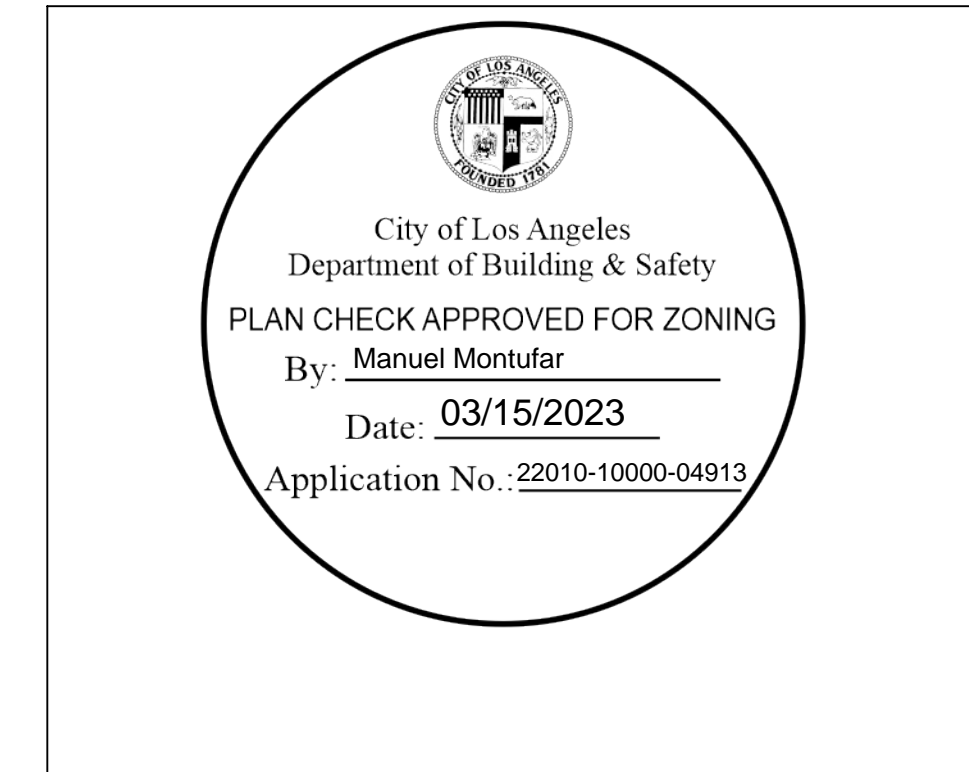


PAGE NO.:

A - 06

ARCHITECTURAL SHEETS

1. SMOOTH 7/8" STUCCO (PATTERNED) , COLOR : WHITE
2. SMOOTH 7/8" STUCCO , COLOR : WHITE
3. SMOOTH 7/8" STUCCO , COLOR : DARK GRAY
4. EXTERIOR DOOR & WINDOW COLOR: STEEL DOORS CLAD WINDOWS TO MATCH DOORS (BLACK) .
5. STANDARD TEMPERED GLASS
6. LIGHTED ADDRESS SIGN
7. DOOR WITH WOOD CLADDING
8. METAL GUARDRAILS SHALL BE IN A MINIMUM HEIGHT OF 42" MEASURED FROM TOP OF FINISH SURFACE UNLESS NOTED OTHERWISE , LESS THAN 4" CLEAR OPENING MAXIMUM. (BLACK)
9. METAL SHEET , COLOR : BLACK



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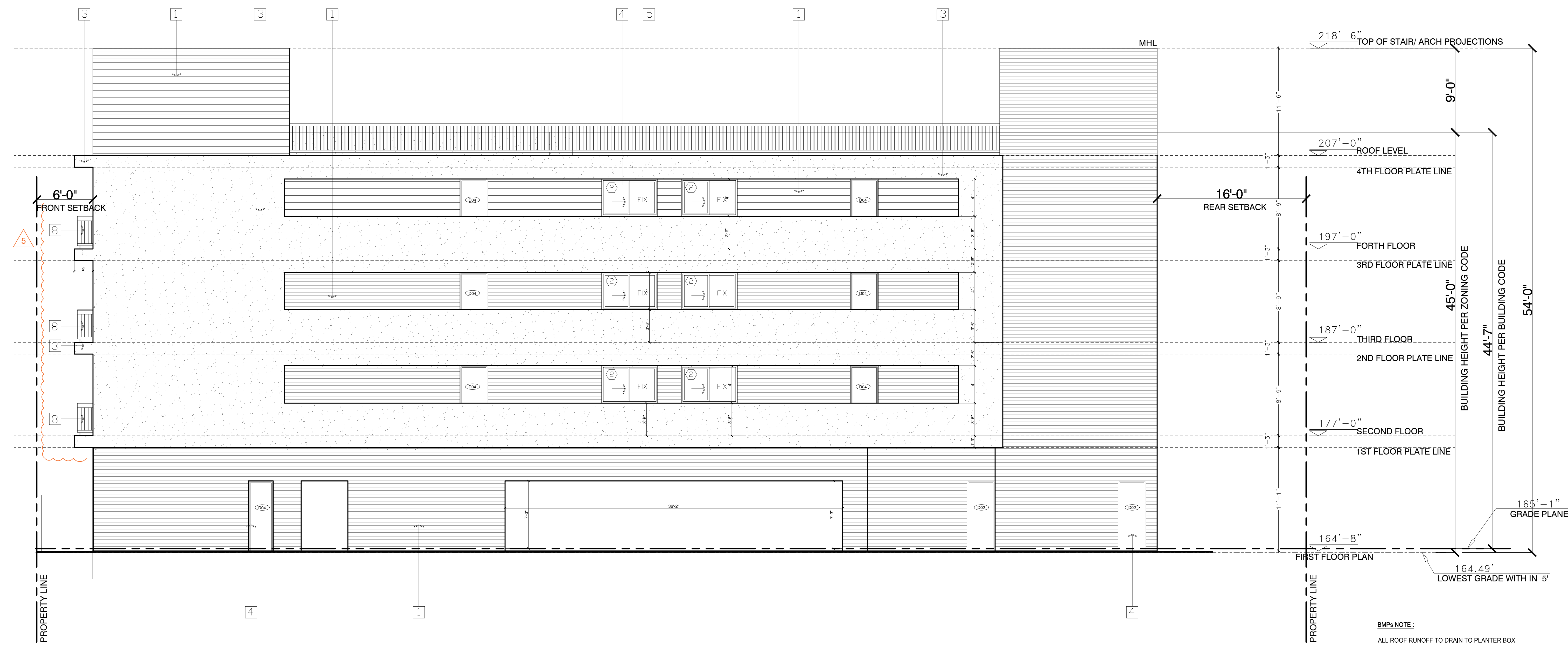
TITLE: RIGHT ELEVATION

SCALE: 3/16" = 1'-0"

PAGE NO.:

A - 08

ARCHITECTURAL SHEETS



RIGHT ELEVATION


SCALE: 3/16" = 1'-0"

EXTERIOR WALL OPENING :

FIRST GARAGE LEVEL :	
TOTAL EXTERIOR WALL AREA :	1406 SQ.FT.
TOTAL OPENING AREA :	(313 SQ.FT.) = 22.26% < 25%
SECOND FLOOR LEVEL :	
TOTAL EXTERIOR WALL AREA :	1189 SQ.FT.
TOTAL OPENING AREA :	289 SQ.FT. = 24.3%
THIRD FLOOR LEVEL :	
TOTAL EXTERIOR WALL AREA :	1189 SQ.FT.
TOTAL OPENING AREA :	289 SQ.FT. = 24.3%
FOURTH FLOOR LEVEL :	
TOTAL EXTERIOR WALL AREA :	1189 SQ.FT.
TOTAL OPENING AREA :	289 SQ.FT. = 24.3%

BMPs NOTE :
 ALL ROOF RUNOFF TO DRAIN TO PLANTER BOX
 ALL DOWNSPOUTS TO DRAIN TO PLANTER BOX
 ANY CHANGES (TYPE,SIZE,LOCATION) TO APPROVED STORM WATER BEST MANAGEMENT PRACTICE (S) (BMPs) MUST OBTAIN WRITTEN APPROVAL FROM LOS ANGELES DEPARTMENT OF PUBLIC WORKS. BUREAU OF SANITATION PRIOR TO CONSTRUCTION OF BMPs.

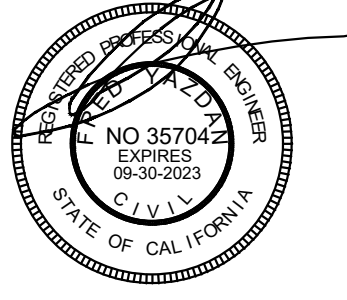
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2. SMOOTH 7/8" STUCCO , COLOR : WHITE
3. SMOOTH 7/8" STUCCO , COLOR : DARK GRAY
4. EXTERIOR DOOR & WINDOW COLOR: STEEL DOORS CLAD WINDOWS TO MATCH DOORS (BLACK) .
5. STANDARD TEMPERED GLASS
6. LIGHTED ADDRESS SIGN
7. DOOR WITH WOOD CLADDING
8. METAL GUARDRAILS SHALL BE IN A MINIMUM HEIGHT OF 42" MEASURED FROM TOP OF FINISH SURFACE UNLESS NOTED OTHERWISE , LESS THAN 4" CLEAR OPENING MAXIMUM. (BLACK)



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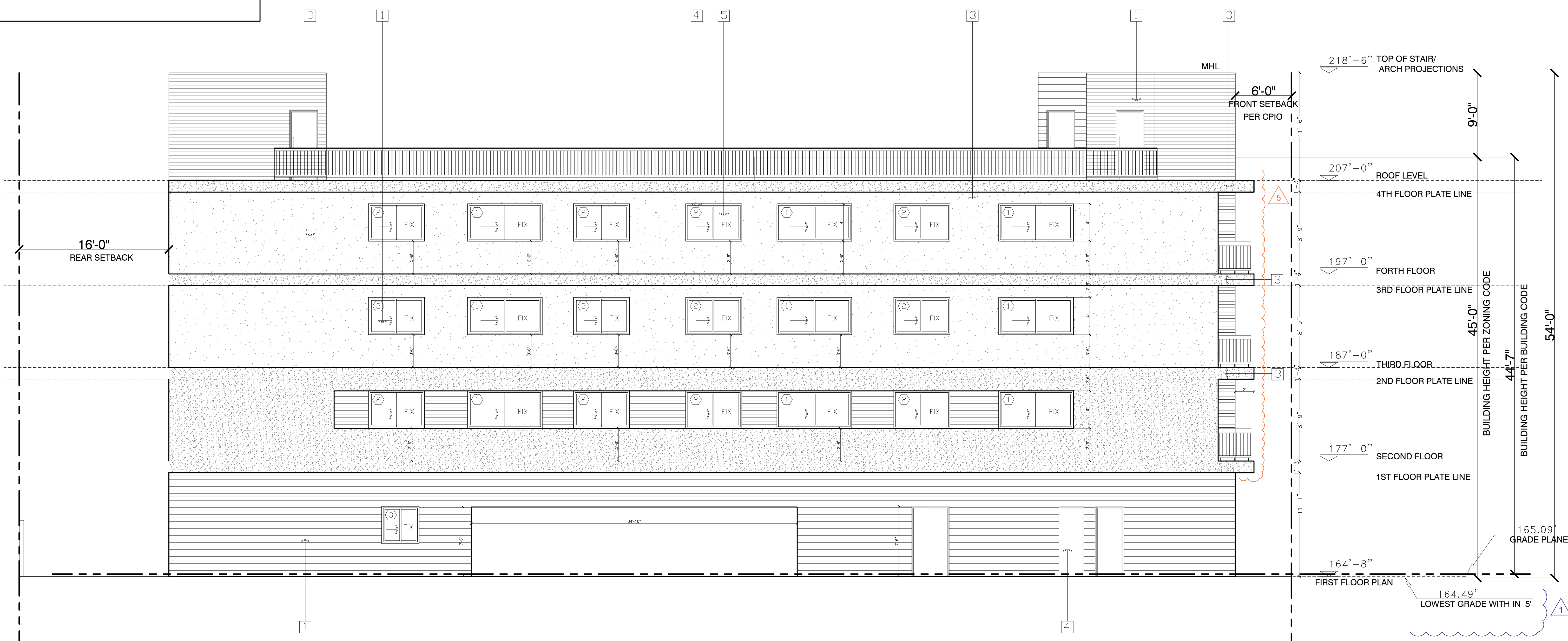
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TITLE LEFT ELEVATION
SCALE 3/16" = 1'-0"

PAGE NO.:
A - 09
ARCHITECTURAL SHEETS



LEFT ELEVATION

SCALE: 3/16" = 1'-0"

EXTERIOR WALL OPENING :

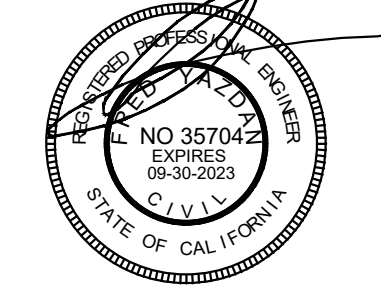
FIRST GARAGE LEVEL :	
TOTAL EXTERIOR WALL AREA :	1263 SQ.FT.
TOTAL OPENING AREA :	(315 SQ.FT.) = 24.9% < 25%
SECOND FLOOR LEVEL :	
TOTAL EXTERIOR WALL AREA :	1335 SQ.FT.
TOTAL OPENING AREA :	204 SQ.FT. = 18.0%
THIRD FLOOR LEVEL :	
TOTAL EXTERIOR WALL AREA :	1335 SQ.FT.
TOTAL OPENING AREA :	226 SQ.FT. = 16.9%
FOURTH FLOOR LEVEL :	
TOTAL EXTERIOR WALL AREA :	1335 SQ.FT.
TOTAL OPENING AREA :	226 SQ.FT. = 16.9%

BMPs NOTE:
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ALL DOWNSPOUTS TO DRAIN TO PLANTER BOX
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TITLE SECTION A-A
SCALE 3/16" = 1'-0"

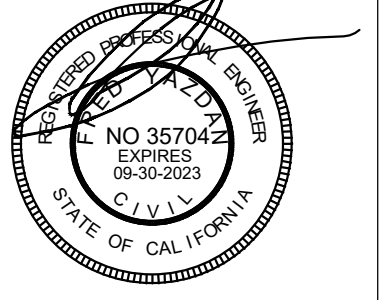
PAGE NO.:
A - 10
 ARCHITECTURAL SHEETS



SECTION A-A
SCALE: 3/16" = 1'-0"



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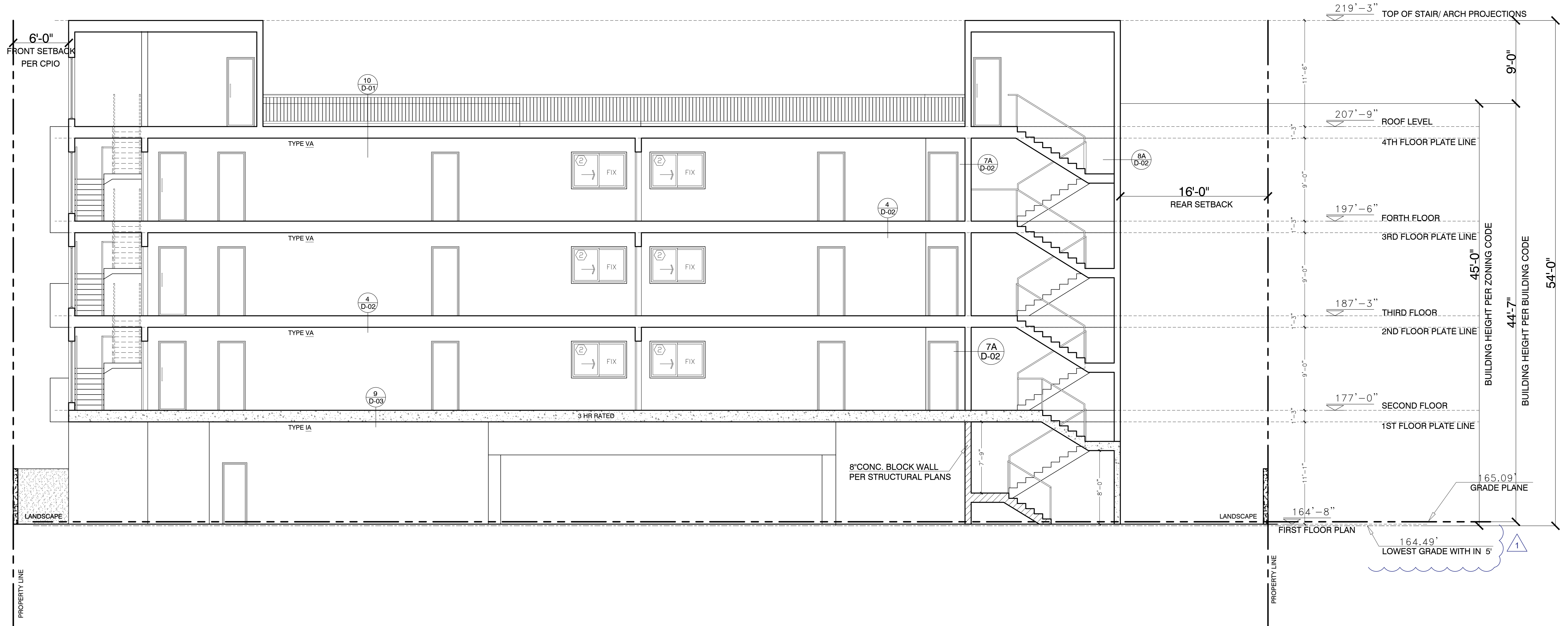
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TITLE SECTION B-B
 SCALE 3/16" = 1'-0"

PAGE NO.:
A - 11
 ARCHITECTURAL SHEETS

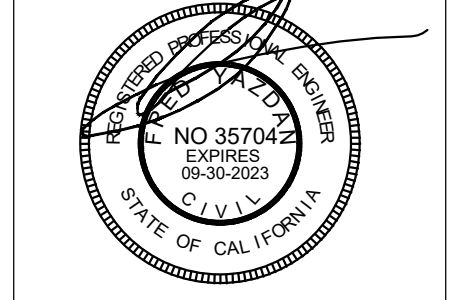


SECTION B-B
 SCALE: 3/16" = 1'-0"


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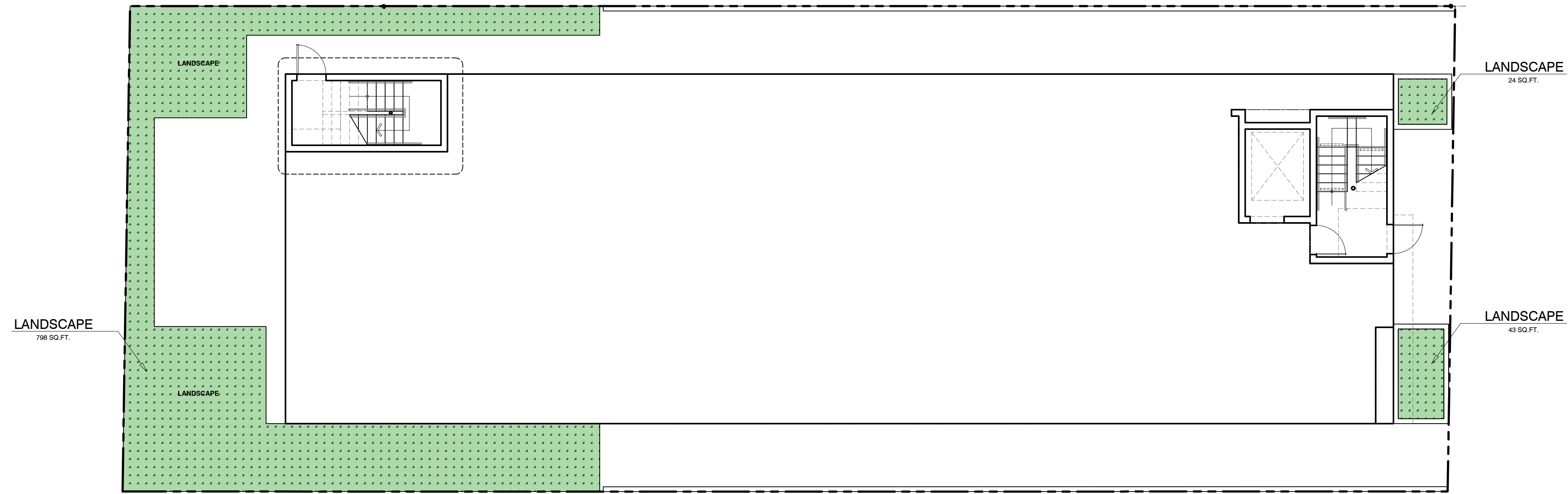
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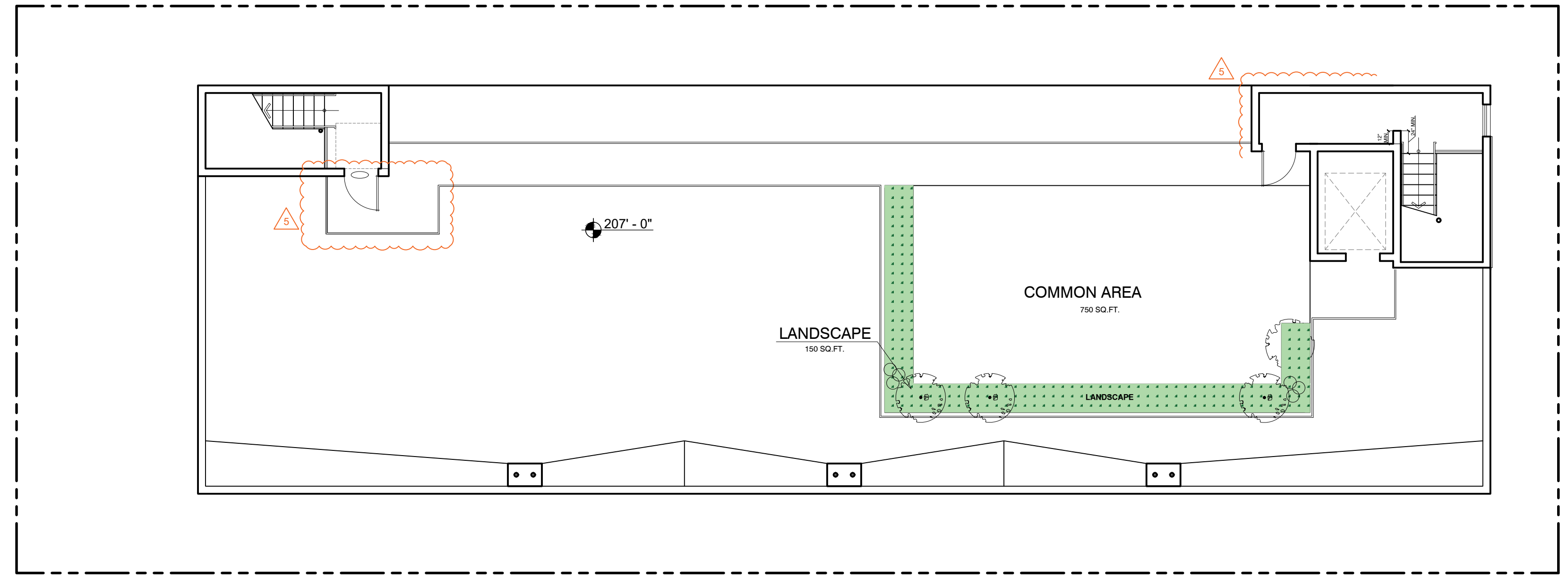
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TITLE LANDSCAPE
SCALE 1/8" = 1'-0"

PAGE NO.:
A - 17
 ARCHITECTURAL SHEETS



FIRST FLOOR PLAN
 SCALE: 1/8" = 1'-0"



ROOF FLOOR PLAN
 SCALE: 1/8" = 1'-0"

 **LANDSCAPE AREA :**
REQUIRED : 500 SQ.FT.
FIRST FLOOR : 865 SQ.FT.
ROOF : 150 SQ.FT.
TOTAL : 1015 SQ.FT.

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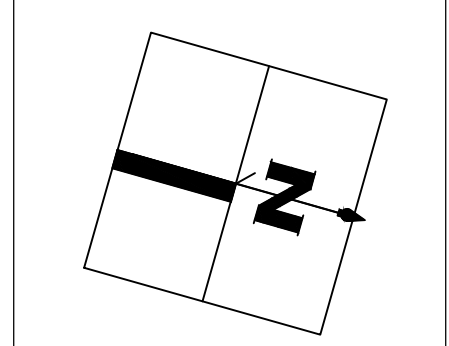
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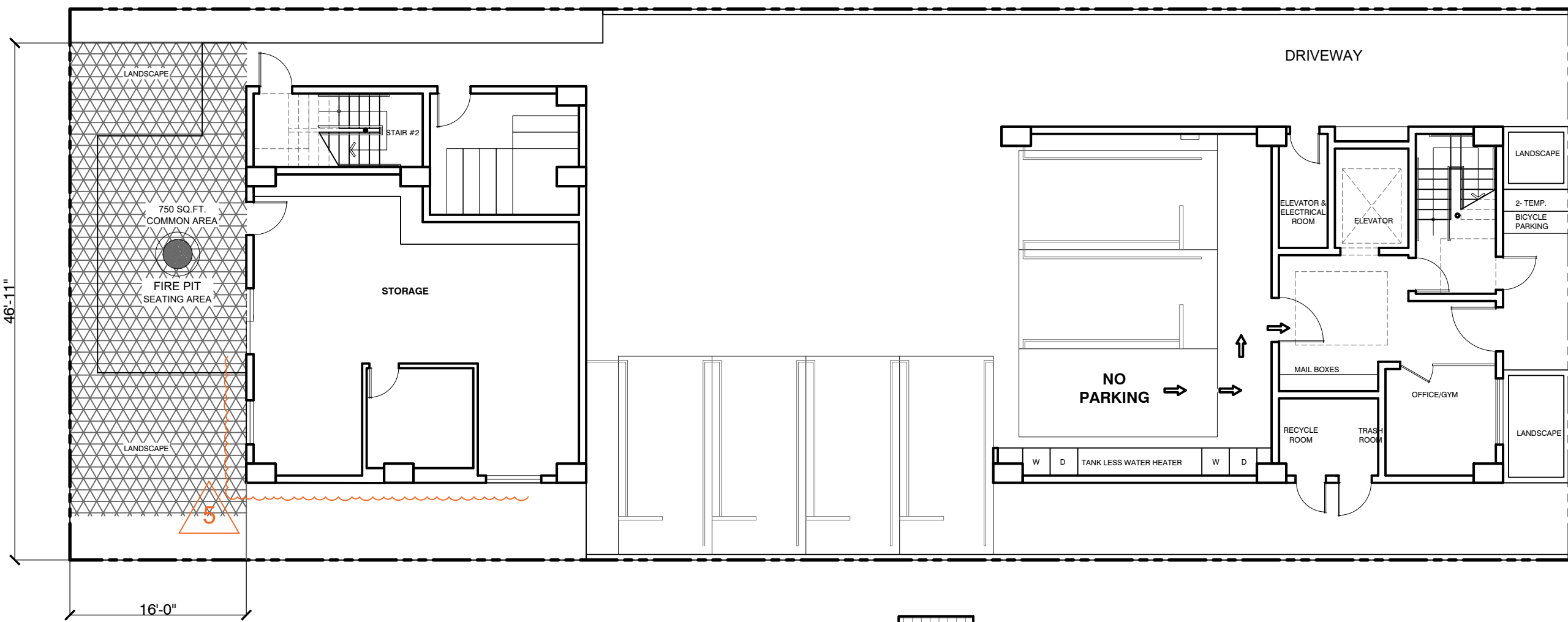
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TITLE: OPEN SPACE STUDY

SCALE: 3/32" = 1'-0"

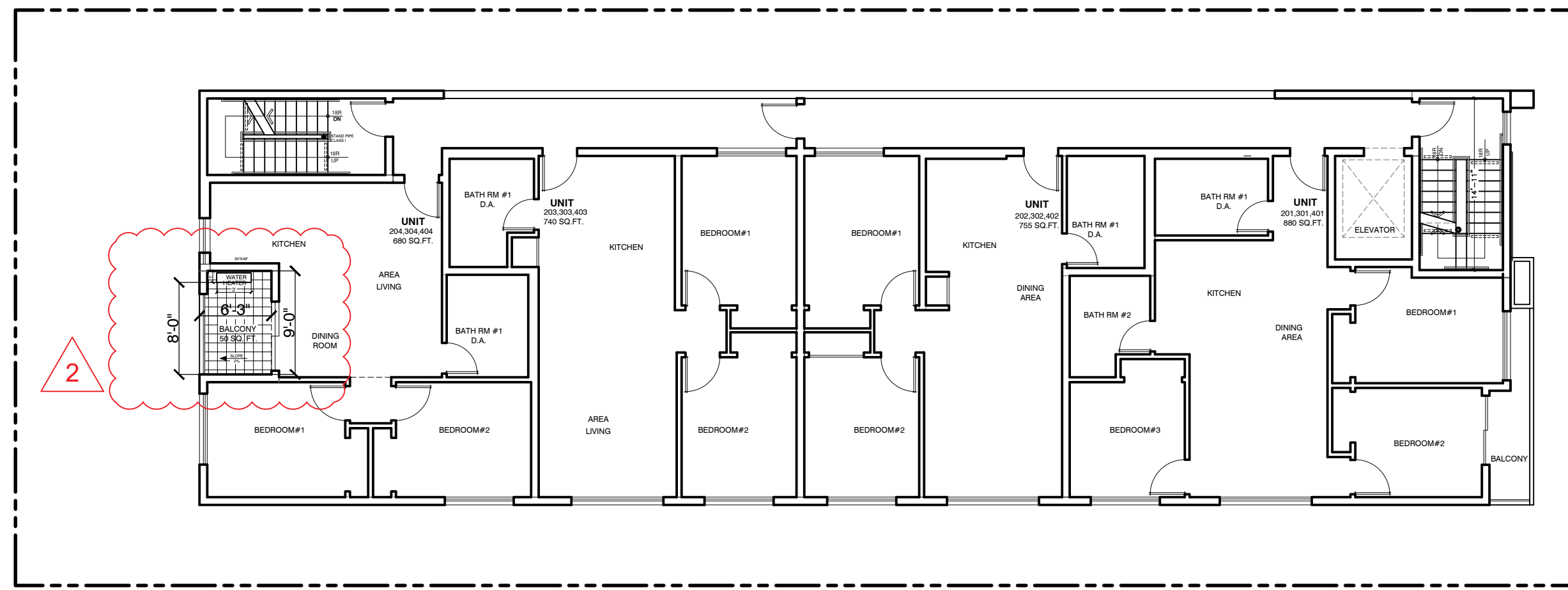


PAGE NO.:
A - 20
 ARCHITECTURAL SHEETS



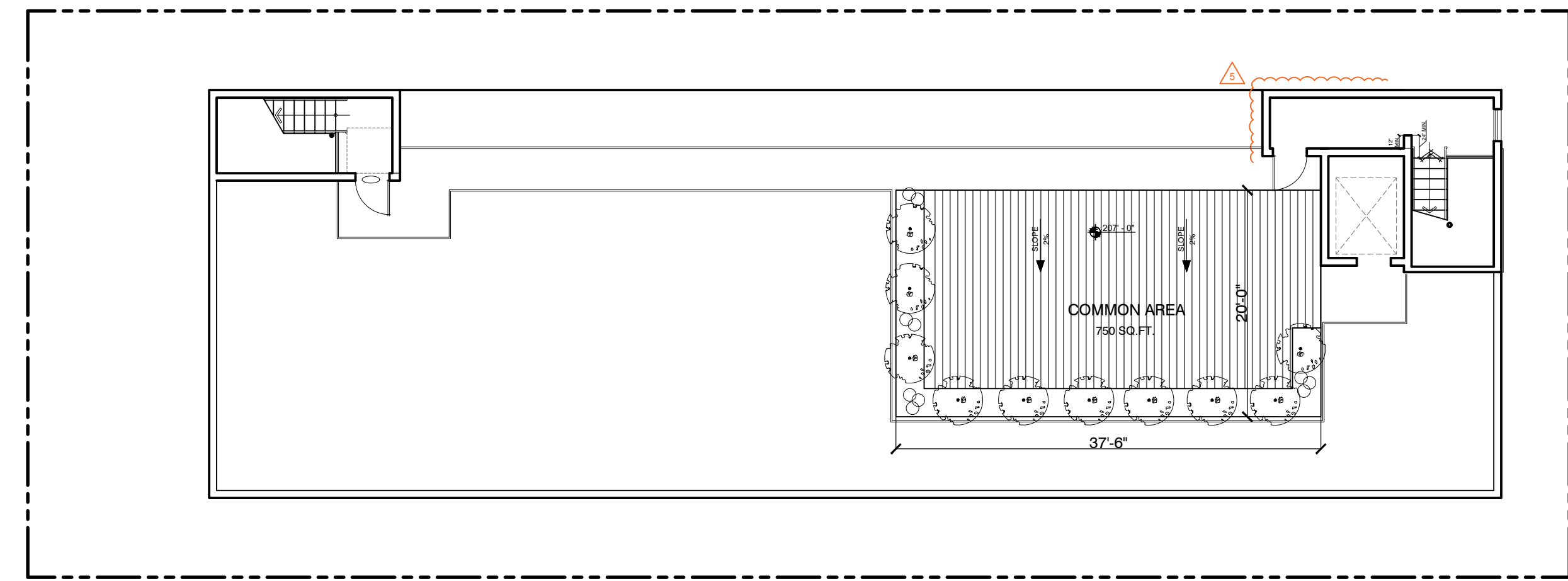
FIRST FLOOR PLAN

PRIVATE OPEN SPACE
 COMMON OPEN SPACE
 750 SQ.FT.



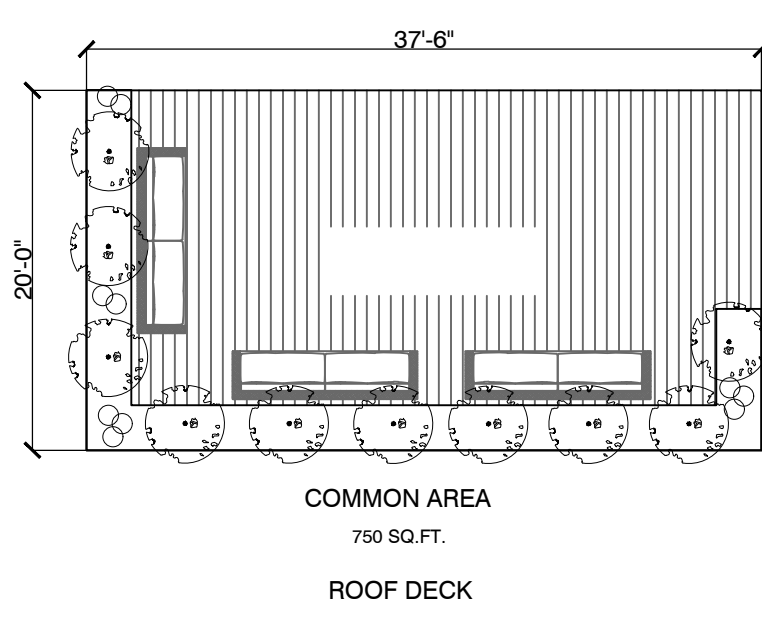
2ND- 3RD-4TH FLOOR PLAN

PRIVATE OPEN SPACE
 COMMON OPEN SPACE
 150 SQ.FT.

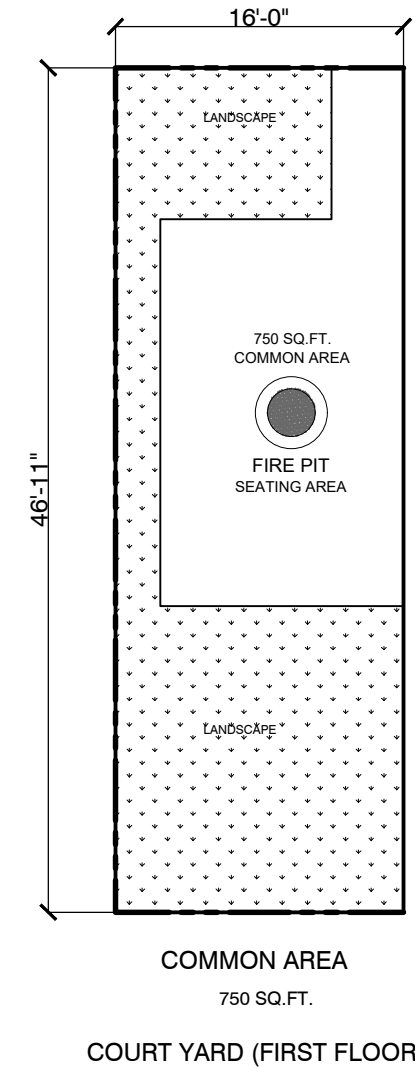


ROOF FLOOR PLAN

PRIVATE OPEN SPACE
 COMMON OPEN SPACE
 750 SQ.FT.



COMMON AREA
 750 SQ.FT.
 ROOF DECK



COMMON AREA
 750 SQ.FT.
 COURT YARD (FIRST FLOOR)

1. ERODED SEDIMENTS AND OTHER POLLUTANTS MUST BE RETAINED ON SITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA SHEET FLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE COURSE OR WIND.
2. STOCKPILE OF EARTH AND OTHER CONSTRUCTION-RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY WIND OR WATER.
3. FUELS, OILS, SOLVENTS AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOIL NOR THE SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM.
4. EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTE ON-SITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTE.
5. TRASH AND CONSTRUCTION-RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF RAINWATER AND DISPERSAL BY WIND.
6. SEDIMENTS AND OTHER MATERIALS MAY NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC WAYS. ACCIDENTAL DEPOSITIONS MUST BE SWEEPED UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR BY ANY OTHER MEANS.

AS THE PROJECT OWNER OR AUTHORIZED AGENT OF THE OWNER, I HAVE READ AND UNDERSTOOD THE REQUIREMENTS, LISTED ABOVE, NECESSARY TO CONTROL STORM WATER POLLUTION FROM SEDIMENTS, EROSION, AND CONSTRUCTION MATERIALS, AND I CERTIFY THAT I WILL COMPLY WITH THESE REQUIREMENTS.

PRINT NAME _____
 (OWNER OR AUTHORIZED AGENT)

SIGNATURE _____ DATE _____
 (OWNER OR AUTHORIZED AGENT)

OPEN SPACE REQUIREMENTS TABLE SEC. 12.21.G2

	RATIO	UNITS	REQUIRED
LESS THAN 3 HABITABLE ROOM UNIT	100 SQ. FT. PER UNIT	0	0 sq.ft.
3 HABITABLE ROOM UNIT	125 SQ. FT. PER UNIT	9 * 125	1125 sq.ft.
4 HABITABLE ROOM UNIT	175 SQ. FT. PER UNIT	3 * 175	525 sq.ft.
TOTAL			1650 sq.ft.

COMMON AREA TABLE (12 UNITS RESIDENTIAL)

MINIMUM COMMON OPEN SPACE REQUIRED (50%)= 825 SQ. FT.
 PRIVATE OPEN SPACE PROVIDED:
 BALCONIES WITH 6' MIN. DIM.: 50 SQ.FT.X3= 150 SQ. FT.
 COMMON OPEN SPACE PROVIDED:
 COURT YARD WITH 15' MIN.: 750 SQ. FT.
 ROOF DECK WITH 15' MIN.: 750 SQ. FT.
 TOTAL OPEN SPACE PROVIDED: 1,650 SQ. FT.
 MIN. COMMON SPACE LANDSCAPE REQUIRED (25%)=1,500*25%= 375 SQ. FT.
 MIN. LANDSCAPE AREA PROVIDE FOR COMMON AREA: 375 SQ. FT.
 NUMBER OF 24" BOX TREES REQUIRED (ONE PER 4 UNITS) 3
 MIN. NUMBER OF 24" BOX TREES PROVIDED 3

An Wet Weather Erosion Control Plan (WWECP), utilizing sediment and erosion control BMPs, for projects that will leave disturb soil during the rainy season (October 1 to April 15) is required. The WWECP must be prepared, for projects that have already broken ground, not less than 30 days prior to the beginning of each rainy season during which soil will be disturbed, and implemented throughout the entire rainy season. A copy of the WWECP shall be kept on the project site at all times beginning 30 days prior to the start of the rainy season through the end of the rainy season. For projects that will begin construction during the rainy season, the WWECP must be available 30 days before construction commences. The WWECP must be submitted to the Bureau of Engineering, Public Works for review and approval. *The WWECP is not a requirement for the issuance of a building or grading permit.*

