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May 20, 2022

Applicant/Owner

Mark Farzan
Farco Properties LLC
15250 Ventura Boulevard, Unit 508
Sherman Oaks, CA 91403

Representative

Jonathan Yang
Irvine & Associates, Inc.
660 South Figueroa Street, Unit 1780
Los Angeles, CA 90017

Case Number: ADM-2021-10799-CU-DB-SIP-PHP-HCA

Application Type: Conditional Use, Density Bonus,
Streamlined Infill Project

Location: 647-649 West 28th Street

Plan Area: South Los Angeles

Plan Overlay: Exposition / University Park RPA, North
University Park – Exposition Park – West Adams NSO,
South Los Angeles Alcohol Sales Specific Plan

Council District: 9 – Price, Jr.

Legal Description: Lot 35 Arb 2, Lot 36 Arb 1, Block
None, Del Valle's Subdivision of Part of the Wheeler
Tract

LETTER OF COMPLIANCE – Conditional Use & Density Bonus & Streamlined Infill Project per Senate Bill 35

Pursuant to California Government Code Section 65913.4 and the Los Angeles Municipal Code (“LAMC”) Sections 12.24 and 12.22 A.25, I have reviewed the proposed project and as the designee of the Director of Planning, I hereby:

DETERMINE, pursuant to California Government Code Section 65913.4, that the project is a Streamlined Infill Project (SIP) for a development that satisfies all of the objective planning standards of Government Code Section 65913.4(a) and tribal consultation requirements of Government Code Section 65913.4(b), and is therefore subject to the streamlined, ministerial approval process provided by Government Code Section 65913.4(c) and (d);

DETERMINE, pursuant to Government Code Section 65913.4 and Public Resources Code Section 21080(b)(1), based on the whole of the record, that the Streamlined Infill Project is Statutorily Exempt from the California Environmental Quality Act (“CEQA”) as a ministerial project; and

APPROVE a ministerial review of a **Density Bonus Compliance Review** the following three (3) incentives requested by the applicant for a project totaling 24 dwelling units, reserving 5 units for Very Low Income for a period of 55 years. The project shall be granted the following development incentives and concessions:

1. **Side Yard (Off-Menu Incentive):** A 6-foot westerly side yard setback in lieu of the 9 feet otherwise required in the RD1.5-1-O Zone.
2. **Side Yard (Off-Menu Incentive):** A 6-foot easterly side yard setback in lieu of the 9 feet otherwise required in the RD1.5-1-O Zone.
3. **Floor Area Ratio (Off-Menu Incentive):** A Floor Area Ratio ("FAR") of 4.2:1 in lieu of 3:1 as otherwise permitted in the RD1.5-1-O Zone.

APPROVE a ministerial review of the following one (1) **Waiver of Development Standards:**

4. **Height:** A 20-foot increase in the maximum building height to allow 65 feet in lieu of 45 feet otherwise permitted in the RD1.5-1-O Zone.

APPROVE a ministerial review of a **Conditional Use** for a 132.5 percent increase in density over the Project site, in lieu of the otherwise permitted 35 percent increase in density allowable under LAMC Section 12.22 A.25.

The project approval is based upon the attached Findings, and subject to the attached Conditions of Approval:

CONDITIONS OF APPROVAL

1. **Site Development.** Except as modified herein, the project shall be in substantial conformance with the plans and materials submitted by the Applicant, stamped "Exhibit A," and attached to the subject case file. No change to the plans will be made without prior review by the Department of City Planning, West/South/Coastal Project Planning Division, and written approval by the Director of Planning. Each change shall be identified and justified in writing. Minor deviations may be allowed in order to comply with the provisions of the Los Angeles Municipal Code or the project conditions.
2. **Senate Bill 35.** The project shall comply with all state requirements of Senate Bill 35 and California Government Code Section 65913.4. A minimum of 50 percent of base dwelling units shall be reserved as affordable units to households making below 80 percent of the area median income.
3. **Residential Density.** The project shall be limited to a maximum density of 24 residential units per Exhibit "A".
4. **Affordable Units.** A minimum of 5 units, that is 50 percent of the base dwelling units, shall be reserved as affordable units for Very Low Income household occupancy, as defined by the State Density Bonus Law 65915 (c)(1) or (c)(2) as determined by the California Department of Housing and Community Development ("HCD") for a period of 55 years.
5. **Changes in Restricted Units.** Deviations that increase the number of restricted affordable units or that change the composition of units or change parking numbers shall be consistent with LAMC Section 12.22 A.25 and Government Code Section 65915.
6. **Housing Requirements.** Prior to issuance of a building permit, the owner shall execute a covenant to the satisfaction of the Los Angeles Housing Department ("LAHD"). The covenant shall bind the owner to reserve five (5) units available to Very Low Income Households for sale or rental as determined to be affordable to such households by LAHD for a period of 55 years. Enforcement of the terms of said covenant shall be the responsibility of LAHD. The Applicant will present a copy of the recorded covenant to the Department of City Planning for inclusion in this file. The project shall comply with the Guidelines for the Affordable Housing Incentives Program adopted by the City Planning Commission and any monitoring requirements established by the LAHD.
7. **Zoning.** The project shall comply with all other requirements of the RD1.5-1-O Zone.
8. **Department of Building and Safety.** The project shall comply with all comments and corrections received from the Department of Building and Safety under Permit No. 21010-10000-05671.
9. **Density Bonus Incentives and Concessions.**
 - a. **Side Yard (Off-Menu Incentive):** A 6-foot westerly side yard setback in lieu of the 9 feet otherwise required in the RD1.5-1-O Zone.
 - b. **Side Yard (Off-Menu Incentive):** A 6-foot easterly side yard setback in lieu of the 9 feet otherwise required in the RD1.5-1-O Zone.
 - c. **Floor Area Ratio (Off-Menu Incentive):** A Floor Area Ratio ("FAR") of 4.2:1 in lieu of 3:1 as otherwise permitted in the RD1.5-1-O Zone.

- d. **Height:** A 20-foot increase in the maximum building height to allow 65 feet in lieu of 45 feet otherwise permitted in the RD1.5-1-O Zone.
 - e. **Automobile Parking.** Pursuant to California Government Code Section 65913.4(e)(1), no parking requirements shall apply for multifamily developments located within one-half mile of public transit. No residential parking spaces are required.
10. **Prevailing Wage Requirements.** Prior to the issuance of a grading or building permit, the applicant shall execute a covenant to the satisfaction of the Department of City Planning to comply with prevailing wage requirements of Government Code Section 65913.4(a)(8). Applicant will present a copy of the recorded covenant to the Department of City Planning for inclusion in this file.
- i. All construction workers employed in the execution of the development will be paid at least the general prevailing rate of per diem wages for the type of work and geographic area, as determined by the Director of Industrial Relations pursuant to Sections 1773 and 1773.9 of the California Labor Code, except that apprentices registered in programs approved by the Chief of the Division of Apprenticeship Standards shall be paid at least the applicable apprentice prevailing rate.
 - ii. The development proponent shall ensure that the prevailing wage requirement is included in all contracts for the performance of the work.
 - iii. All contractors and subcontractors shall pay to all construction workers employed in the execution of the work at least the general prevailing rate of per diem wages, except that apprentices registered in programs approved by the Chief of the Division of Apprenticeship Standards shall be paid at least the applicable apprentice prevailing rate.
 - iv. Except as provided in subclause (vi), all contractors and subcontractors shall maintain and verify payroll records pursuant to Section 1776 of the Labor Code and make those records available for inspection and copying as provided in Sections 1776 and 1812 of the Labor Code.
 - v. Except as provided in subclause (vi), the obligation of the contractors and subcontractors to pay prevailing wages may be enforced by the Labor Commissioner through the issuance of a civil wage and penalty assessment pursuant to Section 1741 of the Labor Code, which may be reviewed pursuant to Section 1742 of the Labor Code, within 18 months after the completion of the development, by an underpaid worker through an administrative complaint or civil action, or by a joint labor-management committee through a civil action under Section 1771.2 of the Labor Code.
 - vi. If a civil wage and penalty assessment is issued, the contractor, subcontractor, and surety on a bond or bonds issued to secure the payment of wages covered by the assessment shall be liable for liquidated damages pursuant to Section 1742.1 of the Labor Code.
 - vii. Subclauses (iv) and (v) shall not apply if all contractors and subcontractors performing work on the development are subject to a project labor agreement that requires the payment of prevailing wages to all construction workers employed in the execution of the development and provides for enforcement of that obligation through an arbitration procedure. For purposes of this clause, "project labor agreement" has the same meaning as set forth in paragraph (1) of subdivision (b) of Section 2500 of the Public Contract Code.

- viii. Notwithstanding subdivision (c) of Section 1773.1 of the Labor Code, the requirement that employer payments not reduce the obligation to pay the hourly straight time or overtime wages found to be prevailing shall not apply if otherwise provided in a bona fide collective bargaining agreement covering the worker. The requirement to pay at least the general prevailing rate of per diem wages does not preclude use of an alternative workweek schedule adopted pursuant to Section 511 or 514 of the Labor Code.

Administrative Conditions

11. **Final Plans.** Prior to the issuance of any building permits for the project by the Department of Building and Safety, the applicant shall submit all final construction plans that are awaiting issuance of a building permit by the Department of Building and Safety for final review and approval by the Department of City Planning. All plans that are awaiting issuance of a building permit by the Department of Building and Safety shall be stamped by Department of City Planning staff "Plans Approved". A copy of the Plans Approved, supplied by the applicant, shall be retained in the subject case file.
12. **Notations on Plans.** Plans submitted to the Department of Building and Safety, for the purpose of processing a building permit application shall include all of the Conditions of Approval herein attached as a cover sheet, and shall include any modifications or notations required herein.
13. **Approval, Verification and Submittals.** Copies of any approvals, guarantees or verification of consultations, review of approval, plans, etc., as may be required by the subject conditions, shall be provided to the Department of City Planning prior to clearance of any building permits, for placement in the subject file.
14. **Code Compliance.** Use, area, height, and yard regulations of the zone classification of the subject property shall be complied with, except where granted conditions differ herein.
15. **Department of Building and Safety.** The granting of this determination by the Director of Planning does not in any way indicate full compliance with applicable provisions of the Los Angeles Municipal Code Chapter IX (Building Code). Any corrections and/or modifications to plans made subsequent to this determination by a Department of Building and Safety Plan Check Engineer that affect any part of the exterior design or appearance of the project as approved by the Director, and which are deemed necessary by the Department of Building and Safety for Building Code compliance, shall require a referral of the revised plans back to the Department of City Planning for additional review and sign-off prior to the issuance of any permit in connection with those plans.
16. **Indemnification and Reimbursement of Litigation Costs.**
Applicant shall do all of the following:
 - (i) Defend, indemnify and hold harmless the City from any and all actions against the City relating to or arising out of, in whole or in part, the City's processing and approval of this entitlement, including but not limited to, an action to attack, challenge, set aside, void, or otherwise modify or annul the approval of the entitlement, the environmental review of the entitlement, or the approval of subsequent permit decisions, or to claim personal property damage, including from inverse condemnation or any other constitutional claim.

- (ii) Reimburse the City for any and all costs incurred in defense of an action related to or arising out of, in whole or in part, the City's processing and approval of the entitlement, including but not limited to payment of all court costs and attorney's fees, costs of any judgments or awards against the City (including an award of attorney's fees), damages, and/or settlement costs.
- (iii) Submit an initial deposit for the City's litigation costs to the City within 10 days' notice of the City tendering defense to the Applicant and requesting a deposit. The initial deposit shall be in an amount set by the City Attorney's Office, in its sole discretion, based on the nature and scope of action, but in no event shall the initial deposit be less than \$50,000. The City's failure to notice or collect the deposit does not relieve the Applicant from responsibility to reimburse the City pursuant to the requirement in paragraph (ii).
- (iv) Submit supplemental deposits upon notice by the City. Supplemental deposits may be required in an increased amount from the initial deposit if found necessary by the City to protect the City's interests. The City's failure to notice or collect the deposit does not relieve the Applicant from responsibility to reimburse the City pursuant to the requirement in paragraph (ii).
- (v) If the City determines it necessary to protect the City's interest, execute an indemnity and reimbursement agreement with the City under terms consistent with the requirements of this condition.

The City shall notify the applicant within a reasonable period of time of its receipt of any action and the City shall cooperate in the defense. If the City fails to notify the applicant of any claim, action, or proceeding in a reasonable time, or if the City fails to reasonably cooperate in the defense, the applicant shall not thereafter be responsible to defend, indemnify or hold harmless the City.

The City shall have the sole right to choose its counsel, including the City Attorney's office or outside counsel. At its sole discretion, the City may participate at its own expense in the defense of any action, but such participation shall not relieve the applicant of any obligation imposed by this condition. In the event the Applicant fails to comply with this condition, in whole or in part, the City may withdraw its defense of the action, void its approval of the entitlement, or take any other action. The City retains the right to make all decisions with respect to its representations in any legal proceeding, including its inherent right to abandon or settle litigation.

For purposes of this condition, the following definitions apply:

"City" shall be defined to include the City, its agents, officers, boards, commissions, committees, employees, and volunteers.

"Action" shall be defined to include suits, proceedings (including those held under alternative dispute resolution procedures), claims, or lawsuits. Actions includes actions, as defined herein, alleging failure to comply with any federal, state or local law.

Nothing in the definitions included in this paragraph are intended to limit the rights of the City or the obligations of the Applicant otherwise created by this condition.

PROJECT BACKGROUND

The proposed project is the construction of a 6-story, 65-foot tall, multi-family residential building with 24 dwelling units (including 5 Very Low Income units). The project will be approximately 39,303 square feet with a Floor Area Ratio ("FAR") of 4.2:1 FAR. No parking spaces are proposed. The site is currently improved as a surface parking lot, and there are no protected or non-protected trees on the project site. There are four (4) non-protected trees (western sycamores, evergreen ash) on the subject site; two (2) of the four (4) trees will be removed. Although western sycamores are a protected species, the western sycamore trees on the subject site were from nursery stock and intentionally installed, and therefore are not of protected status pursuant to Ordinance No. 186,873, as provided in the Tree Letter prepared by The Tree Resource dated February 28, 2022 and reviewed by Urban Forestry Division. The applicant filed for Building Permit No. 21010-10000-05671 with the Los Angeles Department of Building and Safety ("LADBS") for the subject project. The project plans submitted to the Department of City Planning are provided as Exhibit "A".

The project site is located in the South Los Angeles Community Plan, to the northwest of the intersection of Figueroa Street and 28th Street. The site is comprised of two (2) regular-shaped lots containing approximately 12,831 square feet of lot area. The site has a street frontage of approximately 75 feet along the east side of 28th Street and a lot depth of approximately 171 feet. There is a 20-foot wide alley to the rear. The project site is located within 1.08 kilometers (0.67 miles) from the Puente Hills Blind Thrust Fault, but is not located within the Alquist-Priolo Fault Zone. The site is not located within a BOE Special Grading Area, designated hillside area, high fire hazard severity zone, flood zone, landslide, liquefaction, or tsunami inundation zone, however it is within a methane zone.

The South Los Angeles Community Plan Map designates the site for Low Medium II Residential land uses with corresponding zones of RD1.5, RD2, and RZ2.5. The property is zoned RD1.5-1-O, which is a corresponding zone. The RD1.5 Zone allows for residential density at a ratio of one dwelling unit per 1,500 square feet of lot area. Height District No. 1 in the RD1.5 Zone allows for 45-foot building height and up to 3:1 Floor Area Ratio ("FAR"). The site is also within but does not trigger the North University Park – Exposition Park – West Adams Neighborhood Stabilization Overlay (Zoning Information or "ZI" File No. 2397), and the site is also within the Exposition / University Park Redevelopment Project Area (ZI File No. 2488), South Los Angeles Alcohol Sales Specific Plan (ZI File No. 1231), and State Enterprise Zone (ZI File No. 2374).

The project site is located within the Exposition / University Park Redevelopment Project Area; accordingly, the project has been reviewed for consistency and compliance with the Exposition / University Park Redevelopment Project Plan (reviewed under administrative Case No. PAR-2021-8430-RDP). The project is consistent with the goals of the Redevelopment Plan which seeks to make provisions for housing as is required to satisfy the needs and desires of the various age, income, and ethnic groups of the community, and to promote the development of a sufficient number of housing units for low and moderate income households in accordance with Section 1200. The project generally conforms with Section 1306 which authorizes new housing to be developed at higher densities than otherwise permitted by Sections 1303, 1304, and 1305 to achieve flexibility in housing development, well-planned neighborhoods offering variety in housing and environment to all socioeconomic groups.

The surrounding area is primarily zoned and improved for multi-family residential and commercial uses. Abutting properties to the east, west, and south along 28th Street are zoned RD1.5-1-O

and improved with multi-family residential uses ranging from two to three stories in height. Abutting properties across the alley to the north are zoned RD1.5-1-O and improved with a surface parking lot. Properties further east along Figueroa Street are zoned [Q]C2-1VL-O and improved with commercial uses including a shopping center, coffee shop, fast food, retail, and bank. The site is within proximity to multiple Major Transit Stops, including the Los Angeles County Metropolitan Transit Authority (“Metro”) Exposition (“E”) Line LATT/Ortho Institute Station.

Pursuant to SB 35, the project qualifies as a Streamlined Infill Project (“SIP”) that satisfies all of the objective planning standards of California Government Code Section 65913.4(a) and tribal consultation requirements of Government Code Section 65913.4(b), and is therefore subject to the streamlined, ministerial approval process provided by Government Code Section 65913.4(c).

In accordance with Government Code Section 65913.4(d), the Director of Planning may conduct public oversight of the development within ninety (90) days of submittal of the development to the local government, which shall be objective and be strictly focused on assessing compliance with criteria required for streamlined projects, as well as any reasonable objective design standards published and adopted by ordinance or resolution by a local jurisdiction before submission of a development application. In accordance with Government Code Section 65913.4(a)(5), a density bonus, incentive, or waiver granted pursuant to Government Code Section 65915, is excluded from determining whether a project is consistent with objective zoning standards and objective design review standards.

Ministerial Review

The State Department of Housing and Community Development (“HCD”) issued the Streamlined Ministerial Approval Process Guidelines dated November 29, 2018 to provide additional guidance on procedures and implementation of SB 35 (SB 35 Guidelines). The law adds Section 65913.4 to the Government Code requiring that cities streamline the approval of qualified housing projects through a ministerial approval process, removing the requirement for CEQA analysis and altering parking requirements. SB 35 streamlining remains in effect until January 1, 2026, and as of that date will be repealed per the provisions of the bill.

In accordance with the Department of City Planning Memorandum issued on September 25, 2020 regarding “Affordable Housing Approval Process per SB 35 (2017) and AB 2162 (2018); Streamlined Infill Projects (SIP)”, the Department of City Planning will follow a streamlined ministerial approval process consistent with the Department’s treatment of ministerial projects. Cases are assigned an ADM (administrative) prefix with the Director of Planning as the decision-maker. Public hearings are not required, and any appeal process in the LAMC unique to the type of entitlement being requested will not be utilized. This Letter of Compliance is hereby issued to deem the case consistent with the applicable objective development standards and state law criteria, and is transmitted according to the requirements for written decisions in the LAMC for the underlying entitlement. Additional information is available in the case file.

Density Bonus Incentives

State Density Bonus Law (Government Code Section 65915) outlines types of relief that minimize restrictions on the size of the project. The requested incentives and waivers allow the developer to expand the building envelope so the additional and affordable units can be constructed, provide for design efficiencies, and allow the overall space dedicated to residential uses to be increased. These incentives and waivers support the applicant’s decision to set aside the specified number of dwelling units for Very Low Income Households for 55 years.

In accordance with California State Law (including Senate Bill 1818, and Assembly Bills 2280, 2222, and 2556), the applicant is proposing to utilize Section 12.22 A.25 (Density Bonus) of the Los Angeles Municipal Code (LAMC), which permits a density bonus of 35 percent. This allows for 14 total dwelling units in lieu of the otherwise maximum density limit of 10 dwelling units on the property. The applicant has requested a 132.5 percent increase in density to permit 24 dwelling units.

The Applicant proposes to utilize Los Angeles Municipal Code (“LAMC”) Section 12.22 A.25 (Affordable Housing Incentives – Density Bonus), which implements Government Code Section 65915, to set aside 50 percent of the base 10 dwelling units, or 5 dwelling units, for Very Low Income household occupancy for a period of 55 years. In exchange for the set-aside of over 50 percent for Very Low Income households, the Density Bonus Ordinance grants various incentives through an on-menu and/or off-menu process to deviate from development standards in order to facilitate the provision of affordable housing at the site. Given the Applicant is providing 50 percent of dwelling units to be affordable at Very Low Income household occupancy, the project is eligible for three (3) Density Bonus Incentives through the on-menu and/or off-menu process in the LAMC and Government Code Section 65915(d). In addition, the project may request other “waiver[s] or reduction[s] of development standards that will have the effect of physically precluding the construction of a development meeting the [affordable set-aside percentage] criteria of subdivision (b) at the densities or with the concessions or incentives permitted under [State Density Bonus Law]” (Government Code Section 65915(e)(1)). The 5 Very Low Income units qualify the project for streamlined ministerial processing in accordance with SB 35 and California Government Code Section 65913.4.

The record does not contain substantial evidence that would allow the decision maker to make a finding that the requested incentives do not result in identifiable and actual cost reduction to provide for affordable housing costs per State Law. The California Health & Safety Code Sections 50052.5 and 50053 define formulas for calculating affordable housing costs for very low, low, and moderate income households. Section 50052.5 addresses owner-occupied housing and Section 50053 addresses rental households. Affordable housing costs are a calculation of residential rent or ownership pricing not to exceed 25 percent gross income based on area median income thresholds dependent on affordability levels.

Additionally, in accordance with Government Code Section 65913.4(e), as a Streamlined Infill Project that is located within one-half mile of a Major Transit Stop, the City shall not impose parking standards for the Streamlined Infill Project.

Conditional Use

In accordance with SB 35, a local government must streamline the approval of a Streamlined Infill Project only based on objective zoning and design review standards, and the locality’s process and application requirements shall not in any way inhibit, chill or preclude the ministerial approval process. Several findings of the Conditional Use require the City to exercise subjective discretion that does not meet the definition of objective zoning and design review standard in Government Code Section 65913.4(a). These subjective discretionary findings conflict with the streamlined ministerial approval process as provided in SB35 and therefore are not applicable to the proposed Streamlined Infill Project pursuant to SB 35.

CONCLUSION

As a Streamlined Infill Project that satisfies all of the objective planning standards of SB 35, the project is Statutorily Exempt from the California Environmental Quality Act ("CEQA") pursuant to Government Code Section 65913.4 and Public Resources Code Section 21080(b)(1) as a ministerial project.

Additionally, in accordance with Government Code Section 65913.4(e), as a Streamlined Infill Project that is located within one-half mile of a Major Transit Stop, the City shall not impose parking standards for the Streamlined Infill Project.

Therefore, in accordance with Government Code Section 65913.4(c) and (d), the project as shown in Exhibit "A" is deemed to satisfy the objective planning standards of SB 35 and Government Code Section 65913.4(a) and shall comply with the attached planning standards as Conditions of Approval.

Verification of condition compliance with building plans and/or building permit applications are done at the Development Services Center of the Department of City Planning at either Figueroa Plaza in Downtown Los Angeles or the Marvin Braude Building in the Valley. In order to assure that you receive service with a minimum amount of waiting, applicants are encouraged to schedule an appointment with the Development Services Center either through the Department of City Planning website at <http://planning.lacity.org> or by calling (213) 482-7052 or (818) 374-5050. The applicant is further advised to notify any consultant representing you of this requirement as well.

Effective Date/Appeals: The decision of this Letter of Compliance is final and effective upon the mailing of this letter and not appealable.

Reviewed by:

Michelle Singh

Michelle Singh, Senior City Planner

Prepared by:

Connie Chauv

Connie Chauv, City Planner
Connie.chauv@lacity.org

EXHIBIT "A"

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Case No. ADM-2021-10799-CU-DB-SIP-PHP-HCA



28TH STREET APARTMENTS

647 WEST 28TH STREET, LOS ANGELES, CALIFORNIA 90007

ENTITLEMENTS SUBMITTAL

SHEET INDEX

TOPOGRAPHIC SURVEY	L-1.1 CONCEPTUAL LANDSCAPE PLAN GROUND FLOOR
A0.24 CODE COMPLIANCE - OPEN SPACE & FAR	L-1.2 CONCEPTUAL LANDSCAPE PLAN ROOF
A2.00 SITE PLAN	L-2 PLANT PALETTE
A2.11 FIRST FLOOR PLAN	A3.11 BUILDING ELEVATIONS
A2.12 LEVEL 2 FLOOR PLAN	A3.12 BUILDING ELEVATIONS
A2.13 LEVEL 3 FLOOR PLAN	A4.01 BUILDING SECTIONS
A2.14 LEVEL 4 FLOOR PLAN	AD.91 ARCHITECTURAL DETAILS - SITE
A2.15 LEVEL 5 FLOOR PLAN	
A2.16 LEVEL 6 FLOOR PLAN	
A2.18 ROOF PLAN	
A2.21 ENLARGED '01 UNIT PLANS	
A2.22 ENLARGED '02 UNIT PLANS	
A2.23 ENLARGED '03 UNIT PLANS	
A2.24 ENLARGED '04 UNIT PLANS	
A2.25 ENLARGED '05 UNIT PLANS	
A2.26 ENLARGED '06 UNIT PLANS	
A2.27 ENLARGED PLANS	

THE ABOVE DRAWINGS, SPECIFICATIONS, AND NOTES SHALL REMAIN THE PROPERTY OF THE ARCHITECT AND NO PART THEREOF SHALL BE COPIED, REPRODUCED, OR USED IN CONNECTION WITH ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. THESE DRAWINGS OR SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

Revision No.	Revision Desc.	Revision Date



Albert Group
2032 Stoner Avenue | Los Angeles, CA 90025



28TH STREET APARTMENTS
647 WEST 28TH STREET
LOS ANGELES, CALIFORNIA 90007

SYMBOLS

	SLOPE ARROWS		ROOM NAME
	SLOPE ARROWS		SUSMP AREA ALLOCATION
	ELEVATION CALLOUTS		POINT ELEVATION
	GRID BUBBLE		STEP IN SLAB
	BUILDING ELEVATION SHEET NUMBER		FACADE ELEVATION MARKER
	INTERIOR ELEVATIONS SHEET NUMBER		WALL TYPE
	BUILDING SECTION SHEET NUMBER		REVISION CALLOUT
	WALL SECTION SHEET NUMBER		WINDOW CALLOUT
	DETAIL NUMBER SHEET NUMBER		DOOR CALLOUT
	DETAIL TICK		ROOM NUMBER
	MATCHLINE		CEILING HEIGHT
	BREAK LINE		NORTH ARROW
	KEYNOTES		

ABBREVIATIONS

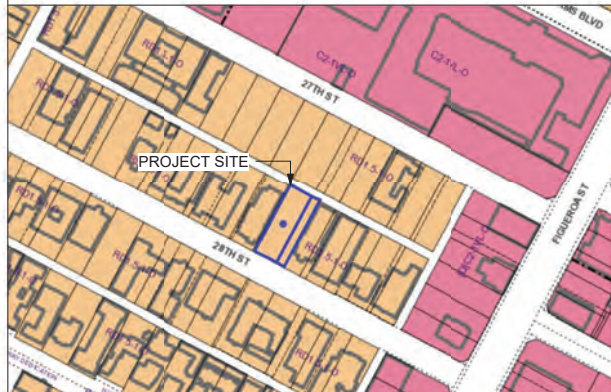
ABV. ABOVE FINISH FLOOR	GA. GALV. G.I. GALVANIZED IRON	R. RAD. REINFORCING RESIL. ROOF DRAIN ROOM ROUGH OPENING REFRIGERATOR REQUIRED	S.C. SHT. SIM. SHTG. SQ. STD. STRUCT. S.S. SUSP. SPEC. STOR. S.T.C. S.F. SEE STRUCTURAL DRAWINGS
BD. BELOW BLOCK BLOCKING BOTTOM BUILDING BETWEEN	H.B. HOSE BIBB HARDWOOD HGT. HIGH POINT HOR. HEADER HTR. HOT WATER HORIZ. H.C.	S.C. SHT. SIM. SHTG. SQ. STD. STRUCT. S.S. SUSP. SPEC. STOR. S.T.C. S.F. SEE STRUCTURAL DRAWINGS	S.C. SHT. SIM. SHTG. SQ. STD. STRUCT. S.S. SUSP. SPEC. STOR. S.T.C. S.F. SEE STRUCTURAL DRAWINGS
C.L. CENTER LINE CATCH BASIN CEMENT CERAMIC CAST IRON PIPE C.L.G. CLR. C.O. COL. COM. CONC. CONT. C.W. C.T. C.Y.D.	I.D. INSIDE DIAMETER INT. INSUL. INV. I.P.S. I.L.C. LAV. LGTH LKR.	TEL. TERR. T & C T.O.C. T.O.W. TYP. THRU TEMP. T.O.P. T.O.PL. U. U.O.N.	TEL. TERR. T & C T.O.C. T.O.W. TYP. THRU TEMP. T.O.P. T.O.PL. U. U.O.N.
DET. D.F. D.D. DIA. DWG. D.S. D.W. DR. DIM.	MIN. MAS. MAX. MECH. MEMB. MTL. M.H. MISC. M.O. M.R. MFG.	VERT. VEST. V.C.T. V.F. WITH WAINSCOT WATER CLOSET WOOD. WATER HEATER WATERPROOF	VERT. VEST. V.C.T. V.F. WITH WAINSCOT WATER CLOSET WOOD. WATER HEATER WATERPROOF
EA. ELEC. ELEV. ENCL. EXH. EXIST. EXP. EXT. E.J.	N.I.C. NO. NOM. N.T.S. OBSC. ON CENTER O.D. OFF. OPENING O.V. OVFL. OPP.	W/ WAINS. W.C. W.D. W.H. W.P.	W/ WAINS. W.C. W.D. W.H. W.P.
F.D. F.C. F.G. F.H.C. FIN. FLR. FLRG. FTG. F.GL. F.S. FLUOR. F.O.C. F.O.M. F.A.S. F.F. F.J.	FLOOR DRAIN FIRE EXTINGUISHER CABINET FUEL GAS FIRE HOSE CABINET FINISH FLOOR FLOORING FOOTING FIXED GLASS FLOOR SINK FLUORESCENT FACE OF CONCRETE FACE OF MASONRY FACE OF STUD FINISH FLOOR FLOOR JOIST	PL. PARTN PLAS. PLYWD. PR. P.L.	PL. PARTN PLAS. PLYWD. PR. P.L.

PROJECT DATA

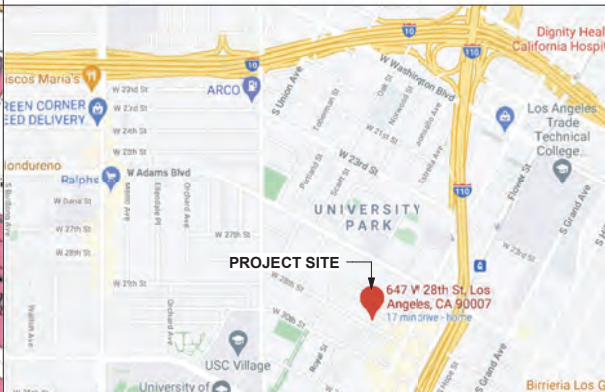
PROPERTY INFORMATION	PROJECT DESCRIPTION
SITE ADDRESS: 647 & 649 WEST 28TH STREET LOS ANGELES, CA 90007	NEW 24 UNIT APARTMENT BUILDING; 5 LEVELS OF TYPE III-A RESIDENTIAL UNITS OVER 1 LEVEL OF TYPE I-A PARKING AND COMMUNITY SPACES.
APNS: 5123 - 015 - 401	SB 35 SUBMITTAL
LEGAL DESCRIPTION: THE SE 55' OF LOT 35 AND NW 20 FEET OF LOT 36 OF TRACT NO. DEL VALLE'S SUBDIVISION OF THE WHEELER TRACT IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES STATE OF CALIFORNIA AS PER MAP RECORDED IN BOOK 30, PAGE 3 OF MAPS IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.	REQUIREMENTS: NO RESIDENTIAL UNITS W/IN LAST 10 YEARS; SET ASIDE 50% OF BASE DENSITY AS RESTRICTED AFFORDABLE AT 80% AMI FOR 55 YEARS (5 UNITS), NOT A SPECIAL HAZARD ZONE, AND PREVAILING WAGE FOR CONSTRUCTION.
LAND AREA: 12,831.222 SF [PER ZIMAS]	20% TOTAL UNITS AS AFFORDABLE TO QUALIFY FOR PRIORITY PROCESSING.
COMMUNITY PLAN: SOUTH LOS ANGELES	INCENTIVES: NO PARKING REQUIREMENT (WITHIN 1/2 MILE OF TRANSIT)
AREA PLANNING COMMISSION: SOUTH LOS ANGELES	THIS BUILDING SHALL BE EQUIPPED THROUGHOUT WITH AN AUTOMATIC FIRE EXTINGUISHING SYSTEM COMPLYING WITH NFPA-13. THE SPRINKLER SYSTEM SHALL BE APPROVED BY THE PLUMBING DIVISION PRIOR TO INSTALLATION.
NEIGHBORHOOD COUNCIL: EMPOWERMENT CONGRESS NORTH AREA	THIS PROJECT IS 100% PRIVATELY FUNDED WITH NO TAX CREDITS AND IS NOT PUBLIC HOUSING.
COUNCIL DISTRICT: CD 9 - CURREN D. PRICE JR	DEFERRED PLAN CHECK SUBMITTALS, UNDER SEPARATE PERMIT: 1. FIRE SPRINKLER SUBMITTALS 2. MECHANICAL, ELECTRICAL & PLUMBING 3. STEEL STAIRS 4. STOREFRONT SYSTEM 5. ELEVATOR
ZONING AND FAR ANALYSIS	
ZONE: RD1.5 - 1 - 0	
REQUIRED YARDS: FRONT: 15' SIDE: 5' + 1' PER STORY OVER 2ND RES REAR: 15' (FROM CL OF ALLEY)	
REDUCED SIDE-YARD REQUEST: 6' PROVD @ SIDE YARDS	
ALLOWABLE HEIGHT: 45' - 0"	
BONUS HEIGHT: 20' - 0" - MAX ALLOWABLE 65' - 0"	
SITE GROSS AREA: 12,831 SF [ZIMAS, PRE-DEDICATION] 12,609 SF [REVIT, POST-DEDICATION]	
MAX ALLOWABLE DENSITY: 12,831 SF + 750 SF 1/2 ALLEY + 1,500 SF = 9.04 = 10 UNITS FOR DENSITY BONUS 132.5% INCREASE x 10 = 13.25 = ADDTL 14 UNITS TOTAL: 24 UNITS	
BUILDABLE AREA: 9,823 SF [PRE-DEDICATION] 9,627 SF [AFTER DEDICATION]	
MAX ALLOW. F.A.R.: 3 : 1 9,823 SF x 3 = 29,469 SF 3 : 1 9,627 SF x 3 = 28,881 SF 4.2 : 1 9,823 x 4.2 = 41,256 SF	
BONUS F.A.R.: 4.2 : 1 9,823 x 4.2 = 41,256 SF	
ZONING OVERLAY: NORTH UNIVERSITY PARK-EXPOSITION PARK - REDEVELOPMENT PROJECT ("NSO")	
REQUIRED OPEN SPACE: 3,000 SF MIN. SEE TABULATION ON PLANS	
PROPOSED SIZE, DENSITY & FAR	
PROPOSED HEIGHT: 65' - 0" MAX, 6 STORIES	
PROPOSED DENSITY: 24 UNITS = 24 UNITS ALLOWED	
PROPOSED F.A.R. 41,256 SF = 41,256 SF	
UNIT SUMMARY	
201 UNIT A 1647 SF	214 UNIT C.2 1155 SF
201 UNIT A 1647 SF	215 UNIT C 1110 SF
202 UNIT B.1 1262 SF	218 UNIT B.1 1262 SF
202 UNIT B.1 1262 SF	219 UNIT C 1114 SF
203 UNIT B.2 1342 SF	220 UNIT B.2 1342 SF
203 UNIT B.2 1342 SF	221 UNIT C 1155 SF
204 UNIT C.2 1155 SF	501 UNIT D 771 SF
204 UNIT C 1155 SF	502 UNIT B.1 1262 SF
205 UNIT C 1110 SF	503 UNIT B.2 1342 SF
205 UNIT C 1114 SF	504 UNIT C 1155 SF
208 UNIT A 1647 SF	505 UNIT C 1114 SF
212 UNIT B.1 1262 SF	606 UNIT E 818 SF
213 UNIT B.2 1342 SF	UNIT TOTAL: 25 30889 SF

PROJECT TOTALS
TOTAL UNITS: 24
AVERAGE UNIT SIZE: 1,226 SF

ZONING MAP



LOCATION MAP



DIRECTORY

OWNER OWNER: FARCO PROPERTIES LLC CONTACT: MARK FARZAN EMAIL: MARK.FARZAN@FARCO.COM TEL: (310) 444-1309 ADDRESS: 15250 VENTURA BLVD. SUITE 508 SHERMAN OAKS, CA 91403	CIVIL COMPANY: VCA ENGINEERS, INC CONTACT: MANNY SANCHEZ EMAIL: MANUEL.SANCHEZ@VCAENG.COM TEL: (323) 729-6098 ADDRESS: 1041 SOUTH GARFIELD AVE., SUITE 210 ALHAMBRA, CA 91801
ARCHITECT COMPANY: THE ALBERT GROUP ARCHITECTS ARCHITAG LLP CONTACT: STEVE ALBERT EMAIL: STEVE@ALBERTGROUP.LA ADDRESS: (310) 820-8863 x 201 2032 STONER AVE., STUDIO A LOS ANGELES, CA 90025	M E P COMPANY: NOVUS DESIGN STUDIO CONTACT: VARAND BALASANIAN, PE, LEED EMAIL: VARAND@NOVUSDESIGNSTUDIO.COM TEL: (818) 644-1309 ADDRESS: 620 NORTH BRAND BLVD., SUITE 404 GLENDALE, CA 91203
STRUCTURAL COMPANY: GILSANZ MURRAY STEFICEK INC. CONTACT: ALIRIO PUCHE P.E. EMAIL: ALIRIO.PUCHE@GMSLLP.COM TEL: (213) 943-4850 ADDRESS: 725 SOUTH FIGUEROA ST., SUITE 3380 LOS ANGELES, CA 90017	LANDSCAPE COMPANY: VIRIDITAS DESIGN CONTACT: ANN JONES, RLA EMAIL: VIRIDITASDESIGNGROUP@GMAIL.COM TEL: (323) 377-1018 ADDRESS: 2735 WEST AVENUE 33 LOS ANGELES, CA 90065
DRY UTILITY CONSULTANT COMPANY: DRY UTILITIES EXPERTS CONTACT: PAUL RODRIGUEZ, ASSOCIATE EMAIL: PAUL@DUEXPARTS.COM TEL: (714) 883-9349 ADDRESS: 17291 IRVINE BLVD., SUITE 206 TUSTIN, CA 92780	

PROJECT NUMBER: **2116**

PROJECT PHASE: **REDESIGN**

SHEET ISSUE DATE: **4/13/2022**

SHEET NAME: **TITLE SHEET**

SHEET NUMBER: **A0.00**

TOPOGRAPHIC SURVEY

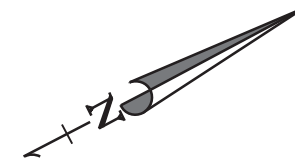
ADDRESS
647 W. 28TH ST.,
LOS ANGELES, CA 90007

ASSESSOR PARCEL NO.
5123015401

LEGAL DESCRIPTION

THE SE 55' OF LOT 35
AND NW 20 FEET OF LOT 36 OF
TRACT NO. DEL VALLE'S
SUBDIVISION OF THE WHEELER
TRACT IN THE CITY OF
LOS ANGELES, COUNTY OF
LOS ANGELES STATE OF
CALIFORNIA AS PER MAP RECORDED
IN BOOK 30, PAGE 3 OF MAPS
IN THE OFFICE OF THE COUNTY
RECORDER OF SAID COUNTY.

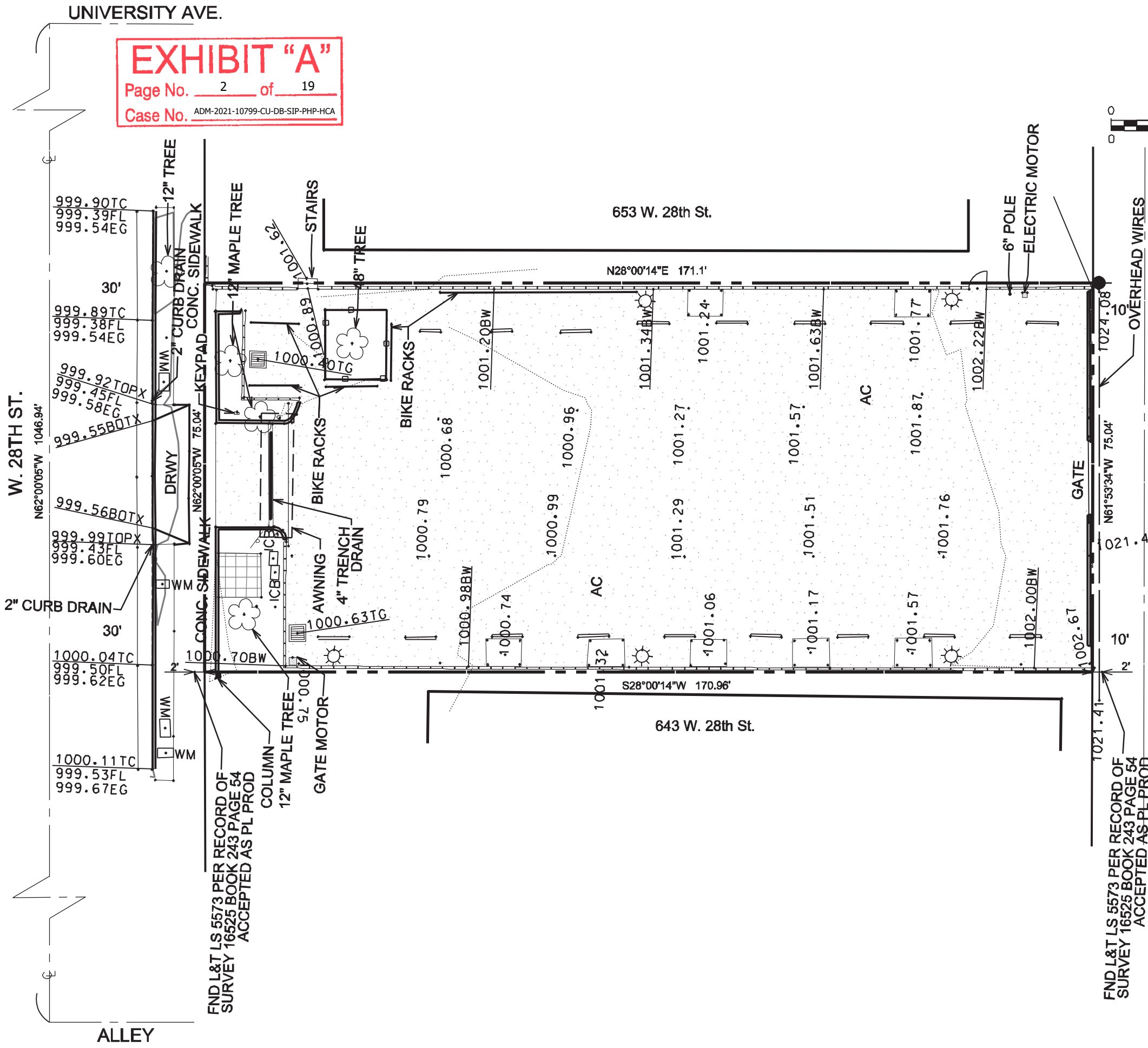
Survey Date:
APRIL, 2021



GRAPHIC SCALE
SCALE: 1" = 20'

LEGEND

- EP EDGE OF PAVEMENT
- FL FLOW LINE
- TC TOP OF CURB
- TW TOP OF WALL
- BW BOTTOM OF WALL
- TG TOP OF GRATE
- POWER POLE
- ☀ STREE TLIGHT
- ⊙ SEWER MANHOLE
- ⊥ SIGN
- ☼ TREE
- ICB IRRIGATION CONTROL BOX
- WM WATER METER
- SLPB STREET LIGHT POWER BOX
- 12"X12" DRAIN
- WHEEL STOP
- COLUMN
- PROPERTY LINE
- CENTER LINE
- WROUGHT IRON FENCE
- CHAINLINKED FENCE
- BUILDING
- CONC. WALL
- ASPHALT (AC)
- PAVERS



BASIS OF DESIGN

EXHIBIT "A"
 Page No. 3 of 19
 Case No. ADM-2021-10799-CU-DB-SIP-PHP-HCA

FIRE BARRIER & RESISTANCE REQUIREMENTS FIRE-BARRIERS / FIRE-PARTITIONS AND OPENING PROTECTION REQUIREMENTS PER 707

FOR TYPE VA AND IA FULLY SPRINKLERED (NPFA-13) CONSTRUCTION

LOCATION	REF CODE SECTION	FIRE BARRIER RATING	HORIZONTAL SEPERATION	OPENING PROTECTION
BETWEEN R-2 & S-2	TABLE 608.4 / TABLE 716.1	1 HR FIRE PARTITION	1 HR	3/4 HR
BETWEEN DWELLING UNITS	708.3	1 HR FIRE PARTITION	1 HR	N/A
CORRIDOR WALLS	708.1.3 / TABLE 716.1	1 HR FIRE RESISTANCE	1 HR	1/3 HR
HORIZONTAL EXIT	707.3.10 / TABLE 716.1	2 HR FIRE RESISTANCE	-	1-1/2 HR
SHAFT ENCLOSURES	713.4	2 HR FIRE BARRIER	-	1-1/2 HR
ELEVATOR LOBBY	3006	NO ELEVATOR LOBBY REQ'D. ADDITIONAL DOOR PROVIDED PER FOOTNOTE 2-F4 BELOW	-	-
EXIT STAIRWAY ≥ 4 STORIES	SECT. 1023&1027	2 HR FIRE BARRIER	-	1-1/2 HR

¹ LEVEL OF EXIT DISCHARGE §3006.2 EXC. 2: PROTECTION OF ELEVATOR HOISTWAY DOOR OPENINGS IS NOT REQUIRED AT THE LEVEL(S) OF EXIT DISCHARGE, PROVIDED THE LEVEL(S) OF EXIT DISCHARGE IS EQUIPPED WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.3.1.1.

² OTHER LEVELS: §3006.3

³ ADDITIONAL DOORS SHALL BE PROVIDED AT EACH ELEVATOR HOISTWAY DOOR OPENING IN ACCORDANCE WITH SECTION 902.6. SUCH DOOR SHALL COMPLY WITH THE SMOKE AND DRAFT CONTROL DOOR ASSEMBLY REQUIREMENTS IN SECTION 716.5.3.1 WHEN TESTED IN ACCORDANCE WITH UL 1784 WITHOUT AN ARTIFICIAL BOTTOM SEAL.

⁴ ENCLOSED ELEVATOR LOBBIES ARE NOT REQUIRED WHERE THE HOISTWAY DOOR HAS A FIRE-PROTECTION RATING AS REQUIRED BY SECTION 703.7 AND THE HOISTWAY DOOR OPENING ALSO PROTECTED BY A LISTED AND LABELED SMOKE CONTAINMENT SYSTEM COMPLYING WITH ICC-ES AC 77.

FIRE RESISTANCE REQUIREMENTS FOR EXTERIOR WALLS (TABLE 602) FOR R-2 OCCUPANCY

LOCATION OF EXTERIOR WALL	TYPE OF CONSTRUCTION	FIRE SEPERATION DISTANCE	FIRE RESISTANCE REQ'S
NORTH WALL (ALLEY)	IA VA	10' ≤ X < 30'	1 HOUR 1 HOUR
SOUTH WALL (28TH STREET)	IA VA	X ≥ 30'	0 0
WEST WALL (NEIGHBOUR)	IA VA	5' ≤ X < 10'	1 HOUR 1 HOUR
EAST WALL (NEIGHBOUR)	IA VA	5' ≤ X < 10'	1 HOUR 1 HOUR

FIRE RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS (TABLE 601)

BUILDING ELEMENT	TYPE IA	TYPE VA
PRIMARY STRUCTURAL FRAME	3 HRS	1
BEARING WALLS EXTERIOR INTERIOR	3 HRS 3 HRS	1 1
FLOOR CONSTRUCTION	2 HRS	1
ROOF CONSTRUCTION & SECONDARY MEMBERS	1 1/2 HR	1

PROJECT DATA & CODE SUMMARY

APPLICABLE BUILDING CODE:
 2019 CALIFORNIA BUILDING CODE WITH 2020 L.A. CITY AMENDMENTS
 2019 CALIFORNIA CODE OF REGULATIONS TITLE 24 PART 11 WITH L.A. CITY AMENDMENTS
 2019 CALIFORNIA ELECTRICAL CODE WITH 2020 L.A. CITY AMENDMENTS
 2019 CALIFORNIA MECHANICAL CODE WITH 2020 L.A. CITY AMENDMENTS
 2019 CALIFORNIA PLUMBING CODE WITH 2020 L.A. CITY AMENDMENTS
 2000 EDITION OF PLANNING AND ZONING CODE WITH CURRENT AMENDMENTS

PROPOSED USE / OCCUPANCY TYPE:
 RESIDENTIAL (R-2)
 STORAGE (S-2)

PROPOSED CONSTRUCTION TYPE:
 I-A - 1ST FLOOR
 V-A - 2ND THROUGH 5TH FLOOR
 FULLY SPRINKLERED (NPFA-13) TO ALL BUILDING AREA

NUMBER OF STORIES: 5 STORIES

ALLOWABLE AREA & HEIGHT CALCULATION

2019 CBC, SECTION 504&506

ALLOWABLE AREA CALCULATION
 $A_a = [A_t + (NS \times I_f)]$
 A_a = ALLOWABLE BUILDING AREA (SQUARE FEET)
 A_t = TABULAR ALLOWABLE AREA FACTOR (NS, S1, OR S13R VALUE, AS APPLICABLE) IN ACCORDANCE WITH TABLE 506.2.
 NS = TABULAR ALLOWABLE AREA FACTOR IN ACCORDANCE WITH TABLE 506.2 FOR NONSPRINKLERED BUILDING.
 I_f = AREA FACTOR INCREASE DUE TO FRONTAGE (PERCENT) AS CALCULATED IN ACCORDANCE WITH SECTION 506.3.

$A_a = [36,000 + (12,000 \times 0)] = 36,000$
 $NS = 12,000$
 $I_f = 0$

FLOOR / LEVEL	CONSTRUCTION TYPE	HEIGHT ¹ TABLE 504.3		STORY TABLE 504.4		BUILDING AREA SECTION 506		
		ALLOWABLE	PROPOSED	ALLOWABLE	PROPOSED	ALLOWABLE		PROPOSED
STORAGE S-2 AND RESIDENTIAL R-2	TYPE IA-FS	UL	10'-0"	UL	1	UL	UL	1ST FLR= 8,411 SF
						ALLOWABLE AREA PER STORY	$A_a = UL$	
						TOTAL ALLOWABLE AREA	$A_a = UL$	
RESIDENTIAL R-2 3RD - 6TH FLRS	TYPE VA-FS	60'	60'	4	4	$A_t = 36,000$ SF	$NS = 12,000$ SF	$I_f = 0$
						ALLOWABLE AREA PER STORY	$A_a = 36,000$ SF	
						$S_a = 1$		TOTAL ALLOWABLE AREA
						$A_a = [36,000] \times 2$		
						$A_a = 72,000$ SF		

For Group R-2 buildings of Type VA construction equipped throughout with an approved automatic sprinkler system in accordance with Section 903.3.1.1, S area increase is permitted in addition to the height and story increase provided the height shall not exceed 60 feet and 4 stories.

ZONING AREAS (F.A.R.)

LEVEL	TOTAL
LEVEL 1	6,330
LEVEL 2	7,183
LEVEL 3	7,183
LEVEL 4	7,183
LEVEL 5	7,147
LEVEL 6	6,230
ROOF	-
TOTAL	41,256

MAX. ALLOWABLE: 41,256 SF

ZONING AND FAR ANALYSIS

ZONE: RD1.5 - 1 - 0
 REQUIRED YARDS: FRONT: 15'
 SIDE: 5' + 1' PER STORY OVER 2ND RES
 REAR: 15' (FROM CL OF ALLEY)
 REDUCED SIDE-YARD REQUEST: 6' PROVID @ SIDE YARDS
 ALLOWABLE HEIGHT: 45' - 0"
 BONUS HEIGHT: 15' - 0" - MAX ALLOWABLE 60' - 0"
 SITE GROSS AREA: 12,831 SF [ZIMAS, PRE-DEDICATION]
 12,609 SF [REVIT, POST-DEDICATION]
 MAX ALLOWABLE DENSITY: 12,831 SF +750 SF 1/2 ALLEY + 1,500 SF = 9,04
 = 10 UNITS FOR DENSITY BONUS
 132.5% INCREASE $\times 10 = 13.25$
 = ADDTL 14 UNITS
TOTAL: 24 UNITS
 DENSITY BONUS:
 BUILDABLE AREA: 9,823 SF [PRE-DEDICATION]
 9,627 SF [AFTER DEDICATION]
 MAX ALLOW. F.A.R.: 3 : 1 | 9,823 SF $\times 3 = 29,469$ SF
 3 : 1 | 9,627 SF $\times 3 = 28,881$ SF
 BONUS F.A.R.: 4.2 : 1 | 9,823 $\times 4.2 = 41,256$ SF
 ZONING OVERLAY: NORTH UNIVERSITY PARK-EXPOSITION PARK - REDEVELOPMENT PROJECT ("NSO")
 REQUIRED OPEN SPACE: 3,000 SF MIN. SEE TABULATION ON PLANS
 PROPOSED HEIGHT: 65' - 0" MAX, 6 STORIES
 PROPOSED DENSITY: 24 UNITS = 24 UNITS ALLOWED
 PROPOSED F.A.R. 41,256 SF = 41,256 SF

PROPOSED SIZE, DENSITY & FAR

PARKING SUMMARY

VEHICULAR PARKING
NOT REQUIRED (WITHIN 1/2 MILE OF TRANSIT)

BICYCLE PARKING
REQUIRED
 LONG TERM FOR 24 UNITS
 1-25 UNITS - 1 LONG TERM : 1 UNIT **24 SPACES**
 SHORT TERM FOR 24 UNITS
 1 SHORT TERM : 15 UNITS **02 SPACES**
TOTAL BICYCLE PARKING REQUIRED: 26 SPACES
PROVIDED
 LONG-TERM @ GRADE (BIKE STORAGE RM) **24 SPACES**
 SHORT-TERM @ GRADE (PARKWAY) **02 STALLS**
TOTAL BICYCLE PARKING PROVIDED: 26 STALLS

OPEN SPACE SUMMARY

LOS ANGELES MUNICIPAL CODE [12.21 G]
 OPEN SPACE REQUIRED

UNIT SIZE	REQ'D SF PER UNIT	PROPOSED NO. OF UNITS	SUBTOTAL REQUIRED
< 3 HABITABLE ROOMS	100 SF	-	-
= 3 HABITABLE ROOMS	125 SF	24	3,000 SF
> 3 HABITABLE ROOMS	175 SF	-	-
TOTAL REQUIRED			3,000 SF

OPEN SPACE PROVIDED

FLOOR LEVEL	PRIVATE DECK SF	COMMON SPACE SF	SUBTOTAL PROVIDED
LEVEL 1	-	-	-
LEVEL 2	250 SF	-	250 SF
LEVEL 3	250 SF	-	250 SF
LEVEL 4	250 SF	-	250 SF
LEVEL 5	250 SF	-	250 SF
LEVEL 6	250 SF	-	250 SF
ROOF	-	1,769 SF	1,769 SF
SUBTOTAL	1,250 SF	1,769 SF	3,019 SF
TOTAL OPEN SPACE PROVIDED			3,019 SF

NOTE:
 1. 25% MIN OF REQ'D OPEN SPACE, OR 25% OF 1,500 SF = 375 SF MIN OF LANDSCAPING TO MEET THE COMMON OPEN SPACE (C.O.S.) REQUIREMENT [12.21 G 2 (a) (3)].
 2. 25% OF TOTAL ENCLOSED COMMUNITY ROOM CAN BE COUNTED TOWARDS THE OPEN SPACE REQUIREMENT PER LAMC 12.21 G 2 (a) (4) (i).

THE ABOVE DRAWINGS, SPECIFICATIONS, NOTES, AND SCHEDULES SHALL BE COPIED AND REMAIN THE PROPERTY OF THE ARCHITECT AND NO PART THEREOF SHALL BE COPIED, REPRODUCED, DISCLOSED TO OTHERS, OR USED IN CONNECTION WITH ANY OTHER WORK OR PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. THESE DRAWINGS OR SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

Revision No.	Revision Date	Revision Description

Albert Group
 2032 Stoner Avenue | Los Angeles, CA 90025



28TH STREET APARTMENTS
 647 WEST 28TH STREET
 LOS ANGELES, CALIFORNIA 90007

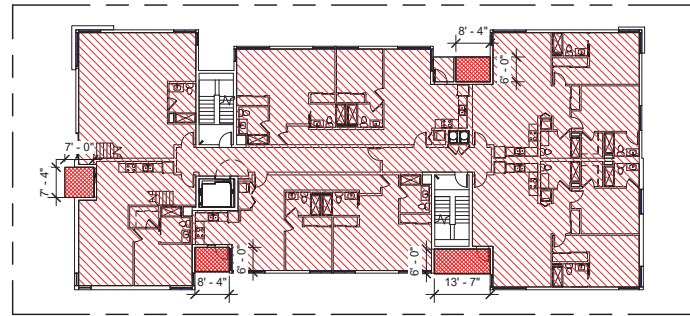
PROJECT NUMBER: **2116**

PROJECT PHASE: **REDESIGN**

SHEET ISSUE DATE: **3/15/2022**

SHEET NAME: **CODE COMPLIANCE - BASIS OF DESIGN**

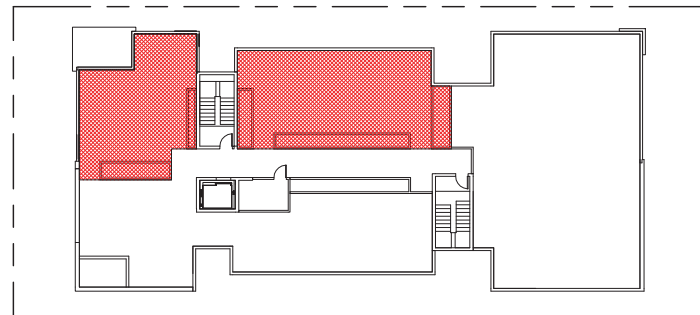
SHEET NUMBER: **A0.21**



FAR: 7,147 SF
 POS: 200 SF

LEVEL 5 FAR & OPEN SPACE

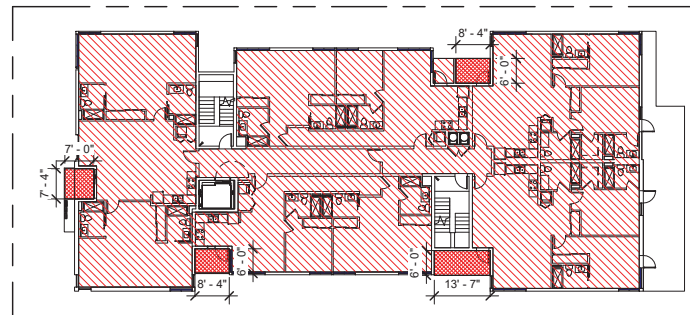
SCALE:
 3/64" = 1'-0" **3**



COS: 2,039 SF

ROOF FAR & OPEN SPACE

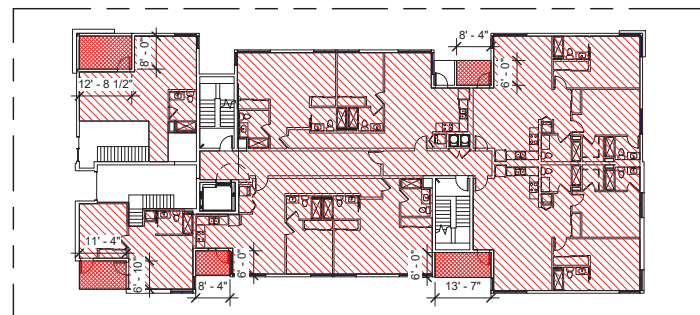
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FAR: 7,183 SF
 POS: 200 SF

LEVEL 2 THRU 4 FAR & OPEN SPACE

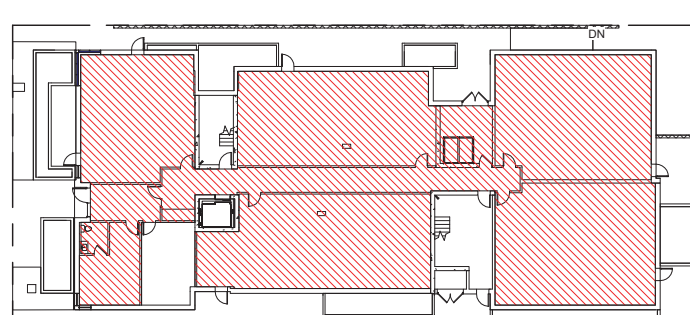
SCALE:
 3/64" = 1'-0" **2**



FAR: 6,230 SF
 POS: 250 SF

LEVEL 6 FAR & OPEN SPACE

SCALE:
 3/64" = 1'-0" **4**



FAR: 6,330 SF

LEVEL 1 FAR & OPEN SPACE

SCALE:
 3/64" = 1'-0" **1**

OPEN SPACE SUMMARY

LOS ANGELES MUNICIPAL CODE [12.21 G]

OPEN SPACE REQUIRED

UNIT SIZE	REQ'D SF PER UNIT	PROPOSED NO. OF UNITS	SUBTOTAL REQUIRED
< 3 HABITABLE ROOMS	100 SF	-	-
= 3 HABITABLE ROOMS	125 SF	24	3,000 SF
> 3 HABITABLE ROOMS	175 SF	-	-
TOTAL REQUIRED			3,000 SF

OPEN SPACE PROVIDED

FLOOR LEVEL	PRIVATE DECK SF	COMMON SPACE SF	SUBTOTAL PROVIDED
LEVEL 1	-	-	-
LEVEL 2	200 SF	-	200 SF
LEVEL 3	200 SF	-	200 SF
LEVEL 4	200 SF	-	200 SF
LEVEL 5	200 SF	-	200 SF
LEVEL 6	250 SF	-	250 SF
ROOF	-	2,039 SF	2,039 SF
SUBTOTAL	1,050 SF	2,039 SF	3,089 SF
TOTAL OPEN SPACE PROVIDED			3,089 SF

NOTE:
 1. 25% MIN OF REQ'D OPEN SPACE, OR 25% OF 1,500 SF = 375 SF MIN OF LANDSCAPING TO MEET THE COMMON OPEN SPACE (C.O.S.) REQUIREMENT [12.21 G 2 (a) (3)].
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LEVEL 6	6,230
ROOF	-
TOTAL	41,256

MAX. ALLOWABLE: 41,256 SF

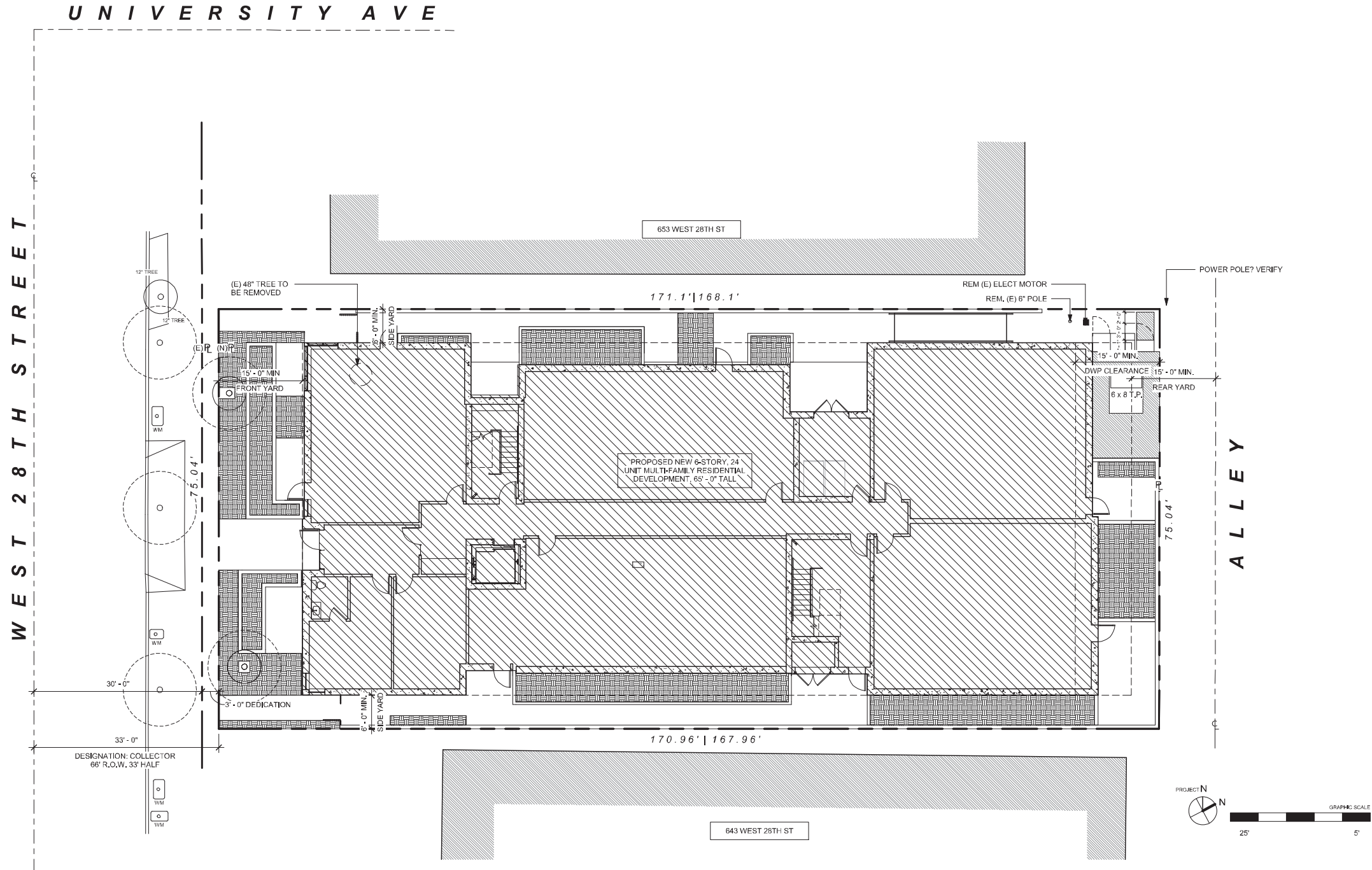
Revision N.	Revision Des.	Revision Date

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SITE PLAN KEYNOTES

THE ABOVE DRAWINGS, SPECIFICATIONS, AND NOTES SHALL BE CONSIDERED AS PART OF THE CONTRACT. ANY CHANGES TO THESE DRAWINGS OR SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

Revision No.	Revision Desc.	Revision Date



- GENERAL**
- HARDSCAPE: MINIMUM 25% TO HAVE INITIAL SOLAR REFLECTANCE VALUE OF AT LEAST 0.30 AS DETERMINED PER ASTM E918 OR ASTM C1549. SEE ALSO SHEET NO. GRN-1 - FORM GRN14 - NOTE #3
 - SLOPE EROSION CONTROL, PLANTING AND IRRIGATION OF FILL SLOPES AND RUN-OFF CONTROL ARE REQUIRED. COMPLY WITH ALL REQUIREMENTS OF LOCAL MUNICIPALITY.
 - SLOPE ALL CONCRETE AND ASPHALT PAVING AWAY FROM BUILDING TO PROVIDE PROPER DRAINAGE
 - TEMPORARY PEDESTRIAN PROTECTION SHALL BE PROVIDED AS REQUIRED BY SECTION 3306, OBTAIN PUBLIC WORKS APPROVAL.
 - MAXIMUM DRIVEWAY SLOPE SHALL NOT EXCEED 20%. GRADE DETAILS AND TRANSITION SLOPES REQUIRED WHERE SLOPE EXCEEDS 12-12%. MAXIMUM DRIVEWAY CROSS SLOPE IS 10%. MAXIMUM SLOPE WITHIN PARKING AREA IS 5%.
 - DOUBLE STRIPING OF STALLS SHALL BE PER ZONING CODE SECTION 12.21A5, CHART NO. 5.
 - PROVIDE ANTI-GRAFFITI FINISH @ THE FIRST 9 FEET, MEASURED FROM GARDE, AT EXTERIOR WALLS AND DOORS.
 - FIRE ALARM SYSTEM TO BE PROVIDED PER CFC 907.
 - TWO-WAY RADIO SYSTEM TO BE PROVIDED PER LAFC 510.

- FIRE NOTES**
- BUILDING AND GARAGE MUST BE EQUIPPED WITH AN AUTOMATIC FIRE EXTINGUISHING SYSTEM, COMPLYING WITH NFPA 13. THE SPRINKLER SYSTEM SHALL BE APPROVED FOR OCCUPANCIES (903.2.7, 903.3.1.3, 504.2, 506.3, T601)
 - PLANS FOR DIVISION 5 PERMIT FOR THE INSTALLATION OF SPRINKLER MONITORING SHALL BE SUBMITTED IN TRIPPLICATE FOR APPROVAL TO THE ENVIRONMENTAL UNIT (ENGINEERING), BUREAU OF FIRE PREVENTION AND PUBLIC SAFETY, 201 NORTH FIGUEROA STREET, SUITE 300, LOS ANGELES, CA 90012. PH:310.482.8900 (L.A.M.C. 5705)
 - PROVIDE EMERGENCY RESPONDER RADIO COVERAGE FOR EMERGENCY RESPONDERS WITHIN THE BUILDING BASED UPON THE EXISTING COVERAGE LEVELS OF THE PUBLIC SAFETY COMMUNICATION SYSTEMS OF THE JURISDICTION AT THE EXTERIOR OF THE BUILDING AND COMPLIANT WITH LAFC SECTION 510.
 - THIS BUILDING SHALL BE PROVIDED WITH A MANUAL ALARM SYSTEM WITH THE CAPABILITY TO SUPPORT VISIBLE ALARM NOTIFICATION APPLIANCES IN ACCORDANCE WITH NFPA 72, (907.2.9, 907.5.2.3.3, 907.5.2.3.4)
 - FIRE ALARM SYSTEM TO BE PROVIDED PER CFC 907.
 - TWO-WAY COMMUNICATION SYSTEM TO BE PROVIDED PER LAFC 510

- INTERIOR FINISHES**
- INTERIOR FINISH MATERIALS APPLIED TO WALL AND CEILINGS SHALL BE TESTED AS SPECIFIED IN SECTION 803
 - THE FLAME-SPREAD RATING OF PANELING MATERIALS ON THE WALLS SHALL BE CONSISTENT WITH THE FOLLOWING FOR R-2 OCCUPANCY PER TABLE 803.9:
 - A) INTERIOR EXIT STAIRS, RAMPS AND PASSAGEWAYS C
 - B) CORRIDORS AND ENCLOSURES FOR EXIT ACCESS C
 - C) STAIRWAYS & RAMPS C
 - C) ROOMS & ENCLOSED SPACES C

- GREEN BUILDING**
- INSTALLED AUTOMATIC IRRIGATION SYSTEM CONTROLLERS SHALL BE WEATHER-OR SOIL-BASED CONTROLLERS.
 - FOR PROJECTS THAT INCLUDE LANDSCAPE WORK, THE LANDSCAPE CERTIFICATION, FORM GRN 12, SHALL BE COMPLETED PRIOR TO FINAL INSPECTION APPROVAL.

HARDSCAPE TABULATIONS AND EXPLANATIONS: PATHWAYS, PATIOS, DRIVEWAYS AND OTHER PAVED AREAS

LEVEL	AREA	PROVIDED / DESCRIPTION
1ST FLOOR / GRADE	X,XXX SF	X,XXX SF / ALL 1ST FLOOR AREAS ARE UNCOLORED CONCRETE W/ SMOOTH ETCHED FINISH
2ND FLOOR	XXX SF	/ ALL DECKS / BALCONIES OPEN TO THE SKY
3RD FLOOR	XXX SF	/ ALL DECKS / BALCONIES COVERED BY BALCONIES ABOVE (XXX SF) / LARGE PRIVATE BALCONIES (X) OPEN TO THE SKY (XXX SF) / COURTYARD BRIDGE OPEN TO THE SKY (540 SF)
4TH FLOOR	XX SF	/ BALCONIES OPEN TO THE SKY (XX SF) / BALCONIES COVERED BY ROOF ABV. (XX SF)
TOTAL:		X,XXX SF

MINIMUM REQUIRED FOR COMPLIANCE:
 25% of X,XXX SF = X,XXX SF
 XXX SF > XXX SF



28TH STREET APARTMENTS
 647 WEST 28TH STREET
 LOS ANGELES, CALIFORNIA 90007

PROJECT NUMBER: 2116
 PROJECT PHASE: REDESIGN
 SHEET ISSUE DATE: 3/15/2022
 SHEET NAME: SITE PLAN
 SHEET NUMBER: A2.00

EXHIBIT "A"
 Page No. 6 of 19
 Case No. ADM-2021-10799-CU-DB-SIP-PHP-HCA

PLAN KEYNOTES

- 01 (E) SYCAMORE TREES, TO REMAIN, TYP OF 2 IN FRONT YARD
- 03 LID PLANTERS, SEE CIVIL DWGS
- 08 RECYCLING AND/OR TRASH CHUTE W/ 90 MINUTE RATED CHUTE DOORS, HARDWARE TO BE ADA COMPLIANT W/ A MAXIMUM MOUNTING HEIGHT OF 48" AFF, SEE 12/AD.11 FOR MORE INFO. TRANSITION TRASH CHUTE VENTS TO END IN TRASH ENCLOSURE OVER RESPECTIVE BINS, PER MANUFACTURER REQ'S
- 16 FACE MOUNTED STEEL PICKET GUARDRAIL, SEE AX.XX

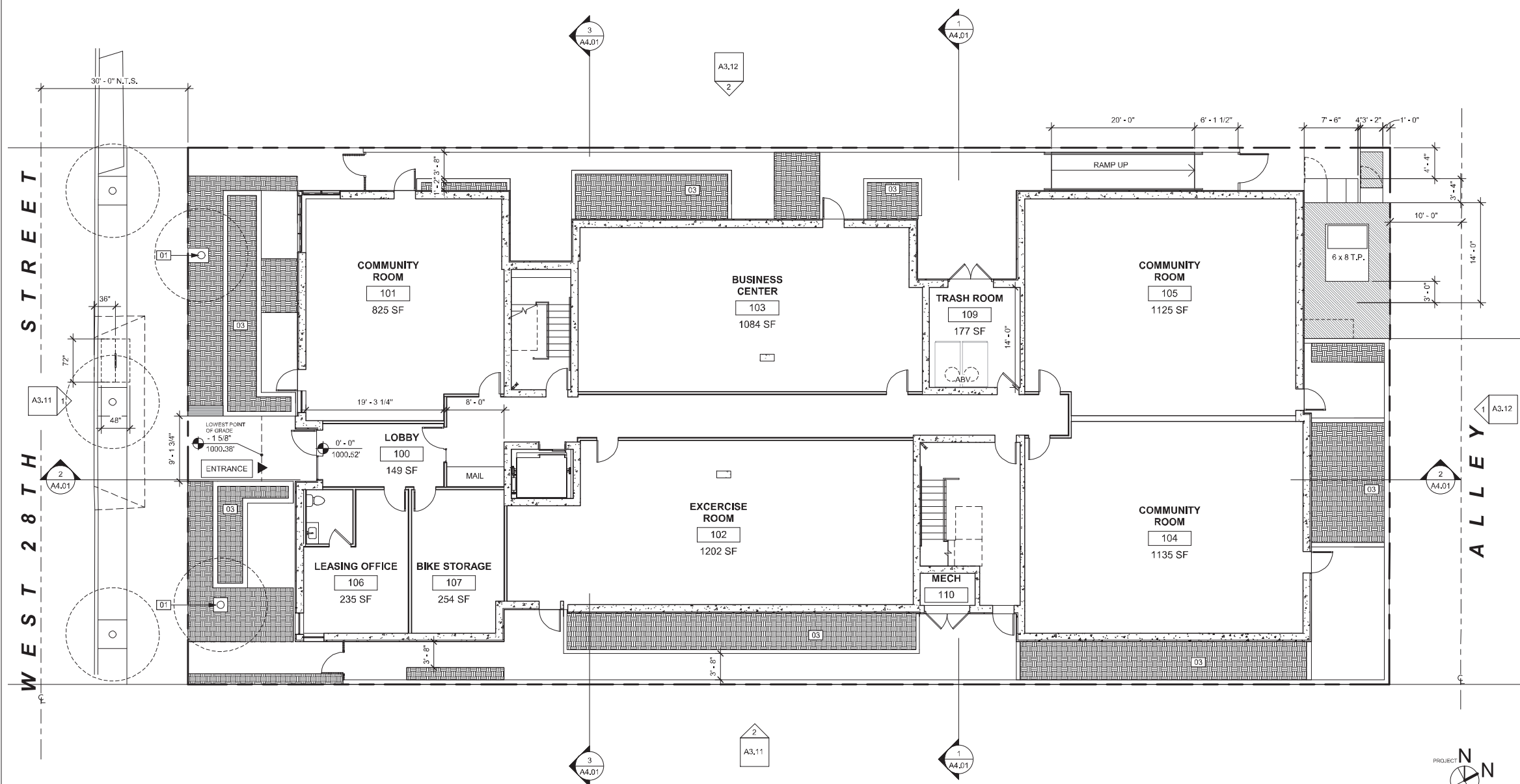
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Revision No.	Revision Desc.	Revision Date

Albert Group
 2032 Stoner Avenue | Los Angeles, CA 90025



28TH STREET APARTMENTS
 647 WEST 28TH STREET
 LOS ANGELES, CALIFORNIA 90007



PLAN NOTES

1. WEEP SCREED FOR STUCCO AT THE FOUNDATION PLATE LINE, MIN. 4" ABOVE EARTH OR 2" ABOVE PAVED AREAS, WEEP SCREEDS SHALL BE OF A TYPE WHICH WILL ALLOW TRAPPED WATER TO DRAIN TO THE EXTERIOR OF THE BUILDING.
2. EXTERIOR WALLS CONTRACTED TO PROVIDE A MINIMUM STC RATING OF 50, TYPICAL.
3. FOR TYPICAL ROOFING AND FLASHING DETAILS, SEE 1-11/AD.30 AND 1-9/AD.31.
4. FIRE PARTITION AND SMOKE BARRIERS SHALL BE CONTINUOUS TO THE UNDERSIDE OF THE FLOOR OR ROOF SHEATHING AND PASSING THROUGH ANY CONCEALED SPACES OR ATTIC AREAS. (708.4, 708.4)
5. FOR INT. UNIT PARTITION TYPES AND LOCATIONS, REFER TO ENLARGED UNIT PLANS.

LEGEND

- 1-HOUR FIRE BARRIER
- 2-HOUR FIRE BARRIER
- 3-HOUR FIRE BARRIER
- WD. OR STL. STUD WALL
- CMU WALL
- CONCRETE WALL
- PLANTER AREA
- (101.1) DOOR TYPE SEE SHEET A7.02
- (101.1) WINDOW TYPE SEE SHEET A7.02
- (S203) STOREFRONT TYPE REFER TO A7.01
- (A16.0) WALL TYPE TAG, REFER TO AD.10

NOTES:
 • SEE STRUCTURAL DRAWINGS FOR REQ'D STUD SIZE, AND PLYWOOD THICKNESS, STRUCTURAL DRAWINGS TO DICTATE.
 • WALL TYPES TYPICAL THROUGHOUT U.N.O.

FIRST FLOOR PLAN SCALE: 1/8" = 1'-0" **1**

PROJECT NUMBER: **2116**
 PROJECT PHASE: **REDESIGN**
 SHEET ISSUE DATE: **3/15/2022**
 SHEET NAME: **FIRST FLOOR PLAN**
 SHEET NUMBER: **A2.11**

EXHIBIT "A"

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Case No. ADM-2021-10799-CU-DB-SIP-PHP-HCA

PLAN KEYNOTES

- 01 (E) SYCAMORE TREES, TO REMAIN, TYP OF 2 IN FRONT YARD
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28TH STREET APARTMENTS
647 WEST 28TH STREET
LOS ANGELES, CALIFORNIA 90007

PLAN NOTES

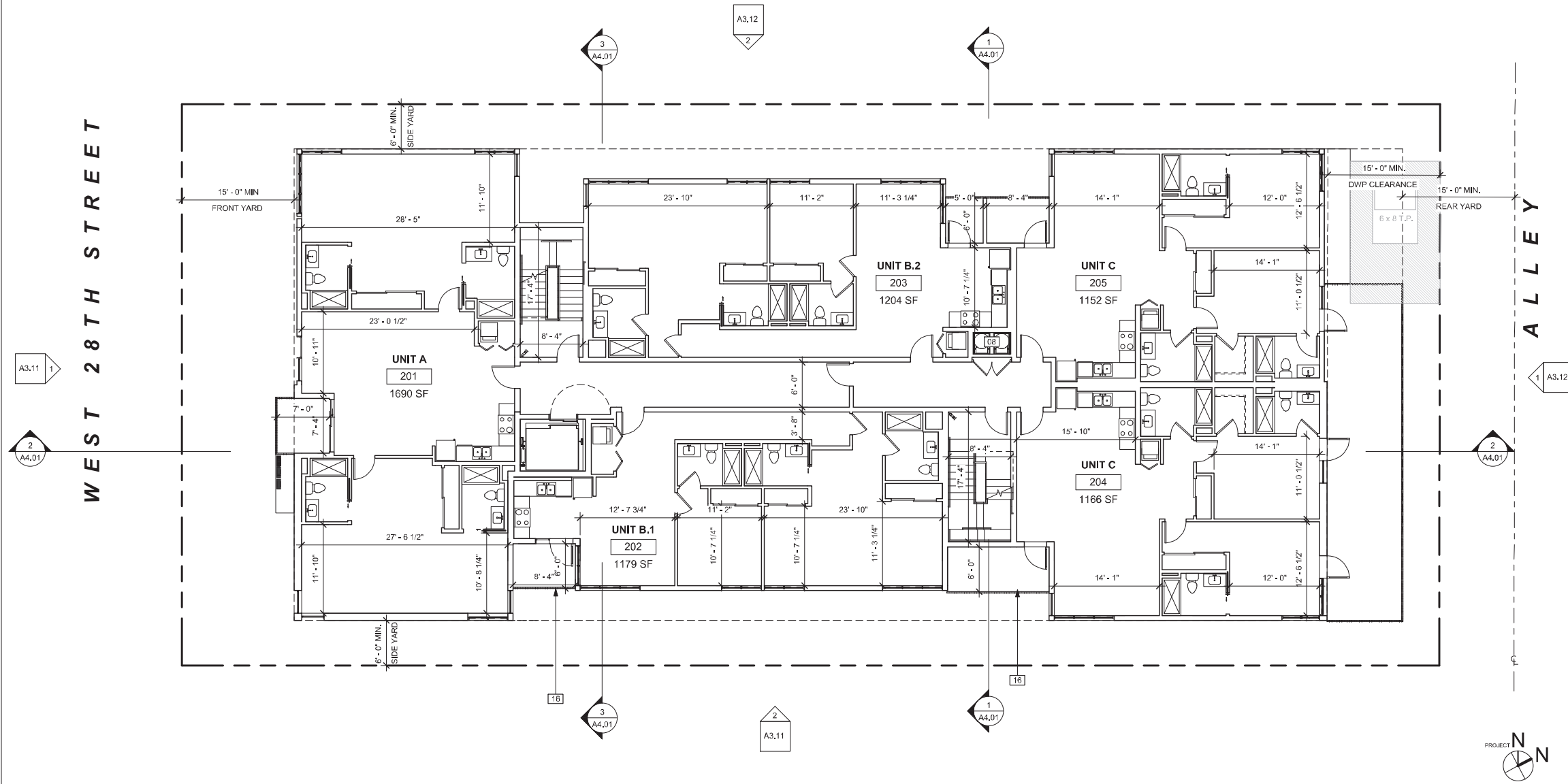
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- WALL TYPES TYPICAL THROUGHOUT U.N.O.



LEVEL 2 FLOOR PLAN

SCALE: 1/8" = 1'-0"

1

A2.12

PROJECT NUMBER: 2116

PROJECT PHASE: REDESIGN

SHEET ISSUE DATE: 3/15/2022

SHEET NAME: LEVEL 2 FLOOR PLAN

SHEET NUMBER:

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Case No. ADM-2021-10799-CU-DB-SIP-PHP-HCA

PLAN KEYNOTES

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Revision No.	Revision Desc.	Revision Date

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28TH STREET APARTMENTS
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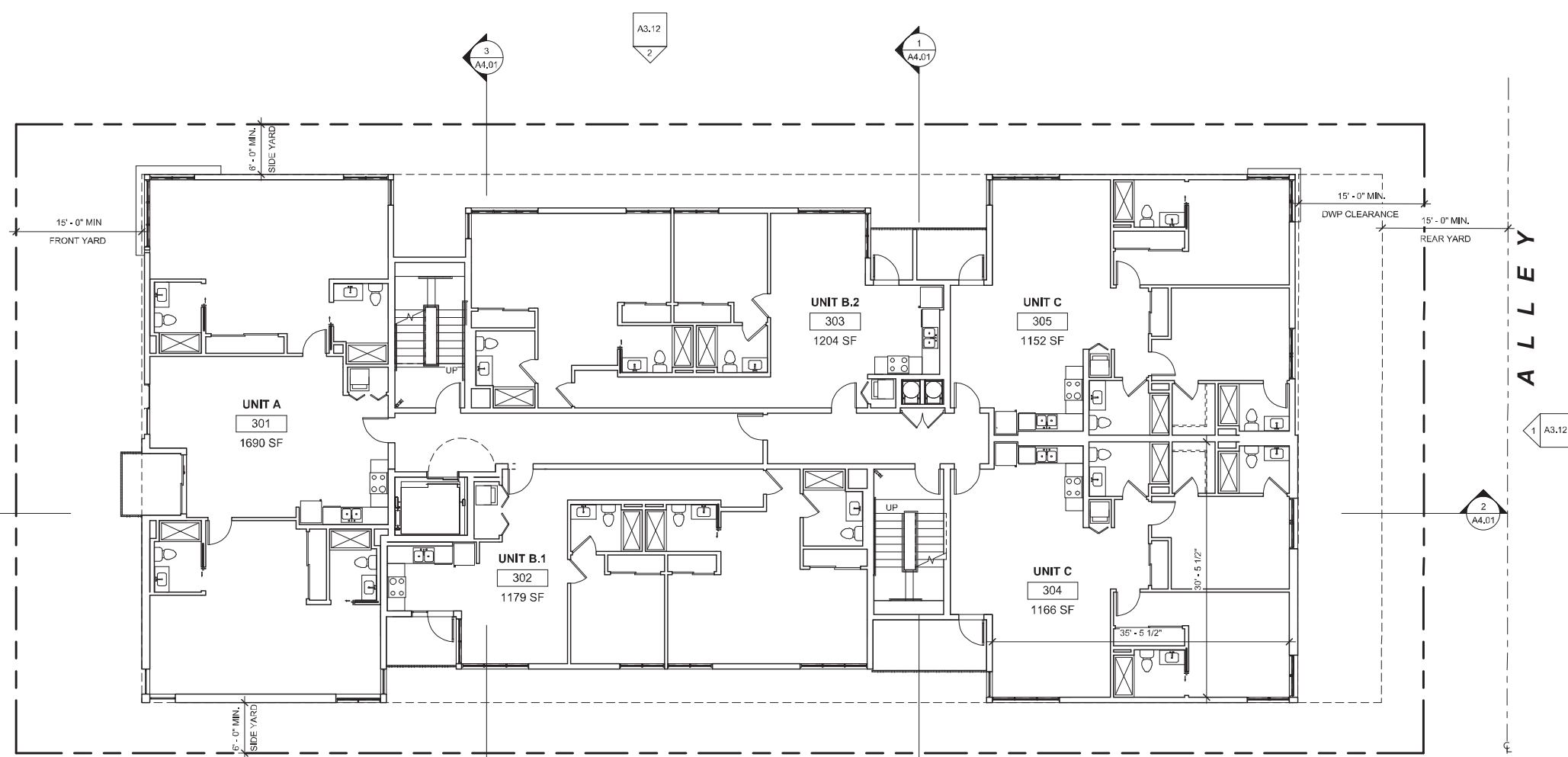
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- NOTES:
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 - WALL TYPES TYPICAL THROUGHOUT U.N.O.



WEST 28TH STREET

ALLEY



LEVEL 3 FLOOR PLAN SCALE: 1/8" = 1'-0" **1**

SHEET NUMBER: **A2.13**

PROJECT NUMBER: 2116
PROJECT PHASE: REDESIGN
SHEET ISSUE DATE: 3/15/2022
SHEET NAME: LEVEL 3 FLOOR PLAN
SHEET NUMBER: A2.13

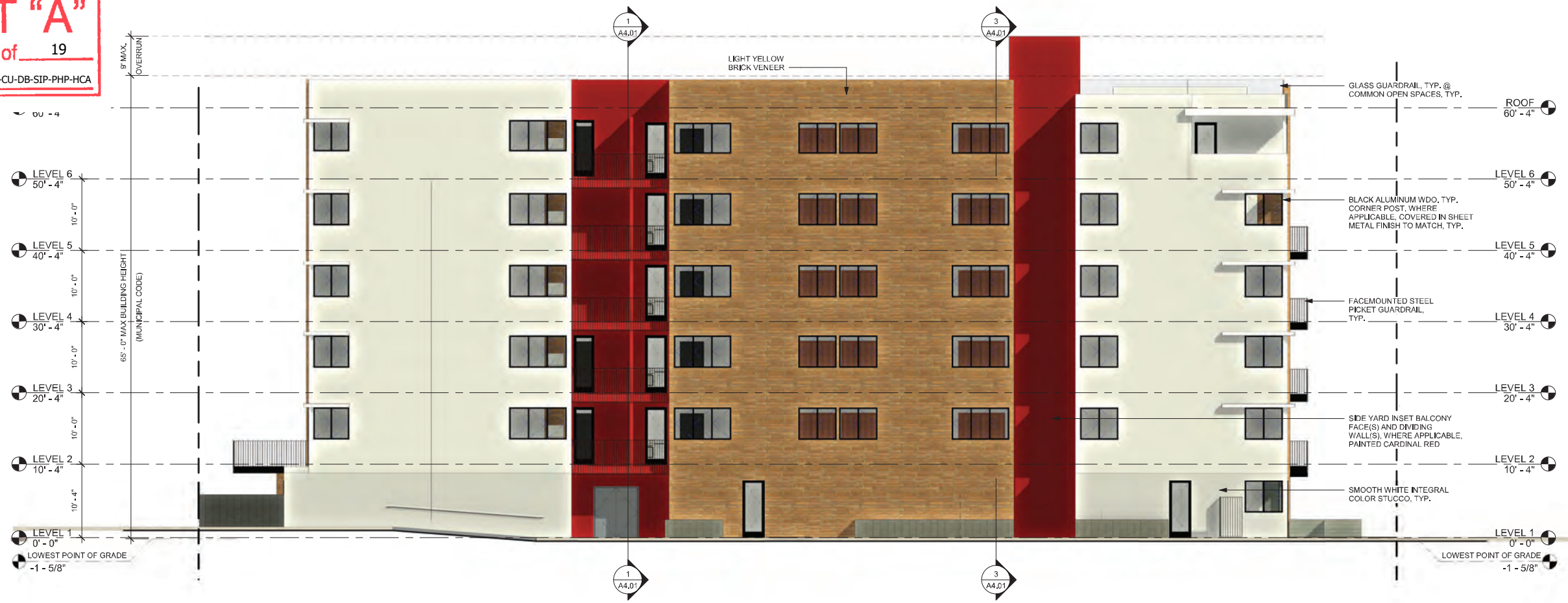
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ALLEY

28TH STREET



NORTH ELEVATION

SCALE: 1/8" = 1'-0"
2



EAST ELEVATION

SCALE: 1/8" = 1'-0"
1

ELEVATION KEYNOTES

- ELEVATION NOTES**
1. WEEP SCREED FOR STUCCO AT THE FOUNDATION PLATE LINE, MIN. 4" ABOVE GRADE OR 2" ABOVE PAVED AREAS.
 2. EXTERIOR WALLS CONSTRUCTED TO PROVIDE A MINIMUM STC RATING OF 50, TYPICAL.

Revision No.	Revision Desc.	Revision Date

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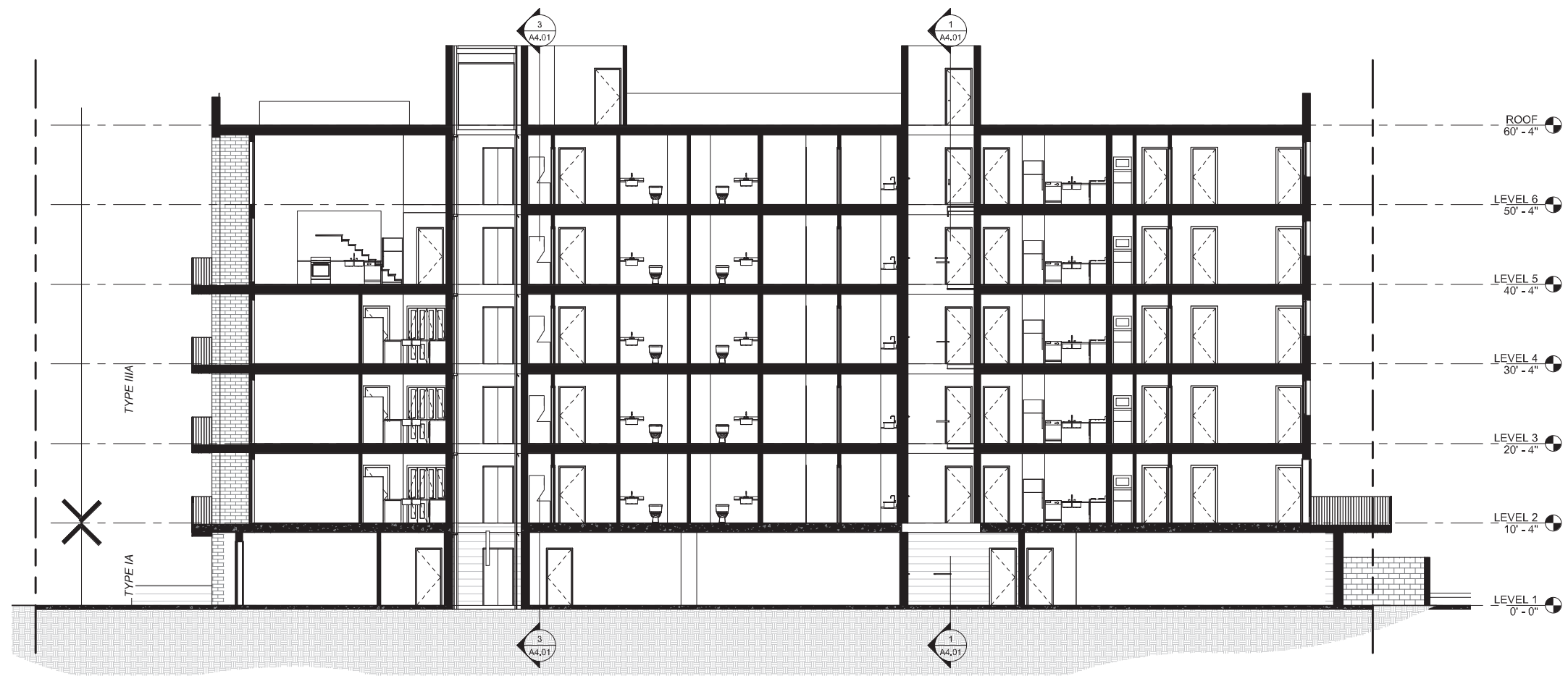
28TH STREET APARTMENTS
647 WEST 28TH STREET
LOS ANGELES, CALIFORNIA 90007

PROJECT NUMBER: 2116
PROJECT PHASE: REDESIGN
SHEET ISSUE DATE: 3/15/2022
SHEET NAME: BUILDING ELEVATIONS
SHEET NUMBER:

A3.12

EXHIBIT "A"

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LONGITUDINAL SECTION A

SCALE: 1/8" = 1'-0"

2

Revision No.	Revision Desc.	Revision Date

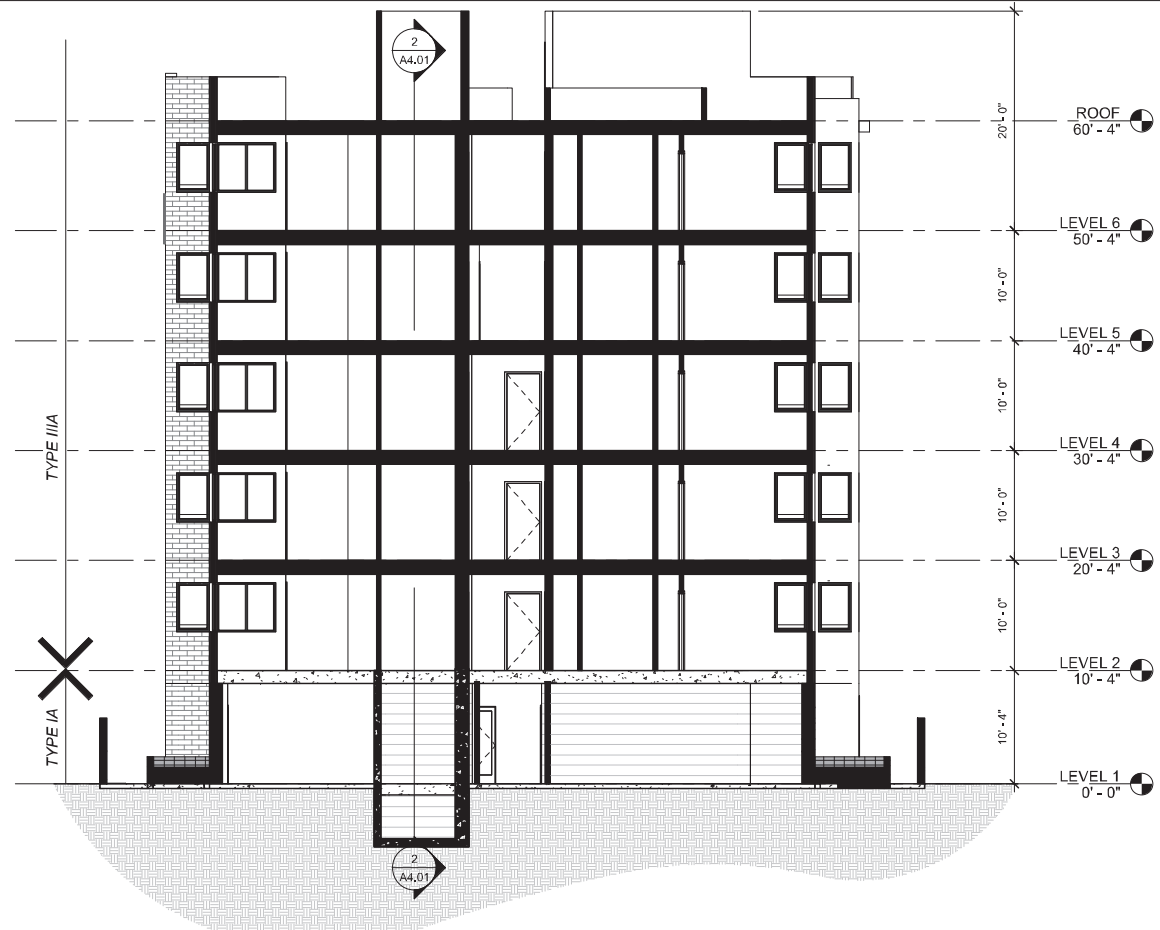
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28TH STREET APARTMENTS
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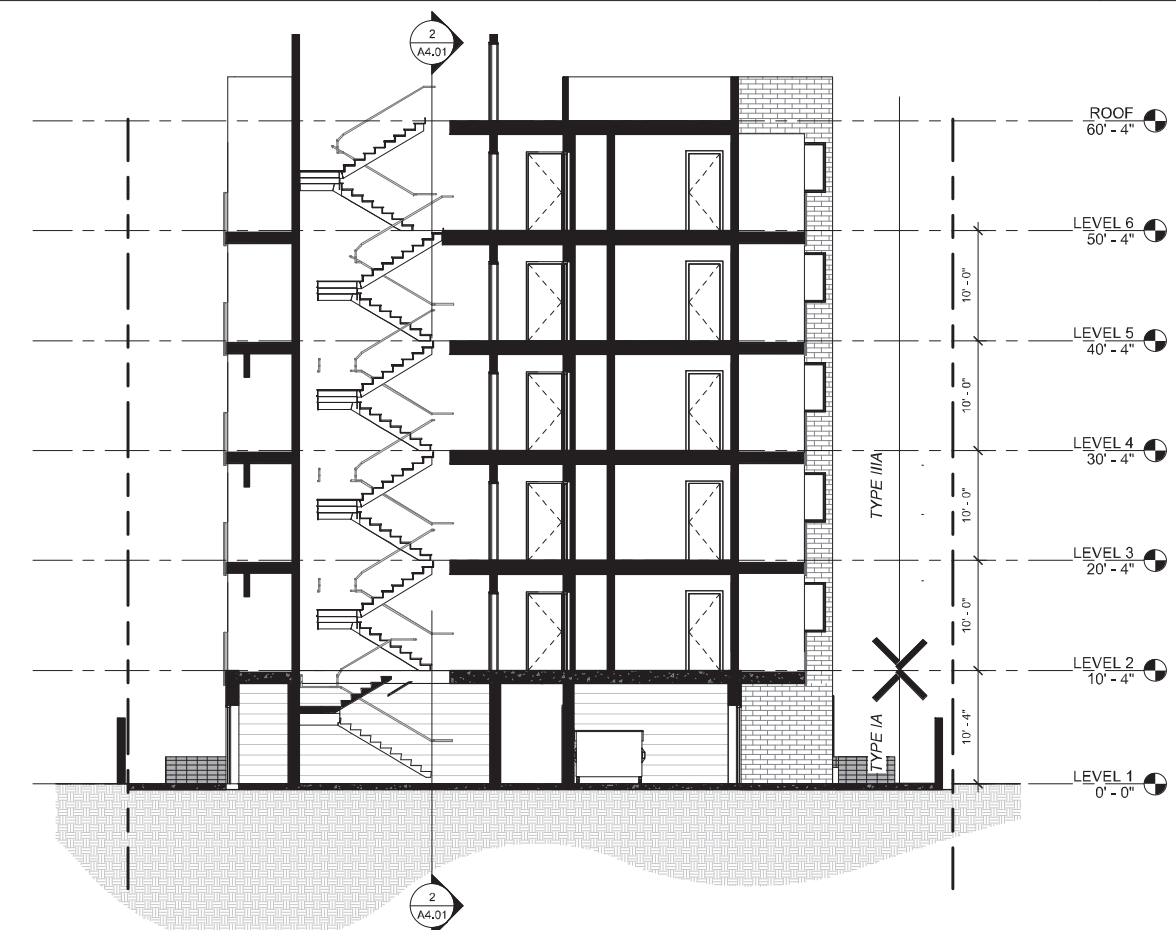
PROJECT NUMBER: **2116**
 PROJECT PHASE: **REDESIGN**
 SHEET ISSUE DATE: **3/15/2022**
 SHEET NAME: **BUILDING SECTIONS**
 SHEET NUMBER: **A4.01**



CROSS-SECTION B

SCALE: 1/8" = 1'-0"

3

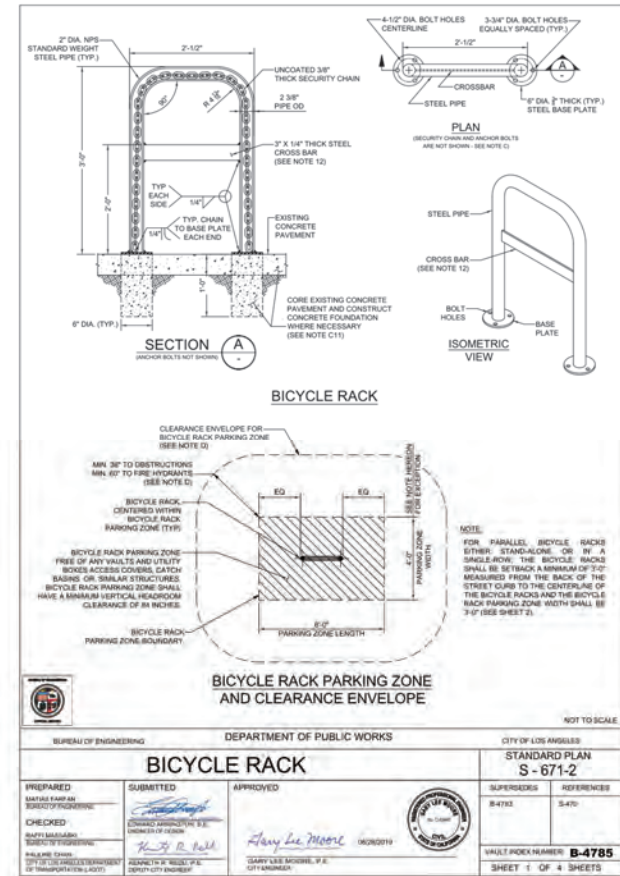


CROSS SECTION A

SCALE: 1/8" = 1'-0"

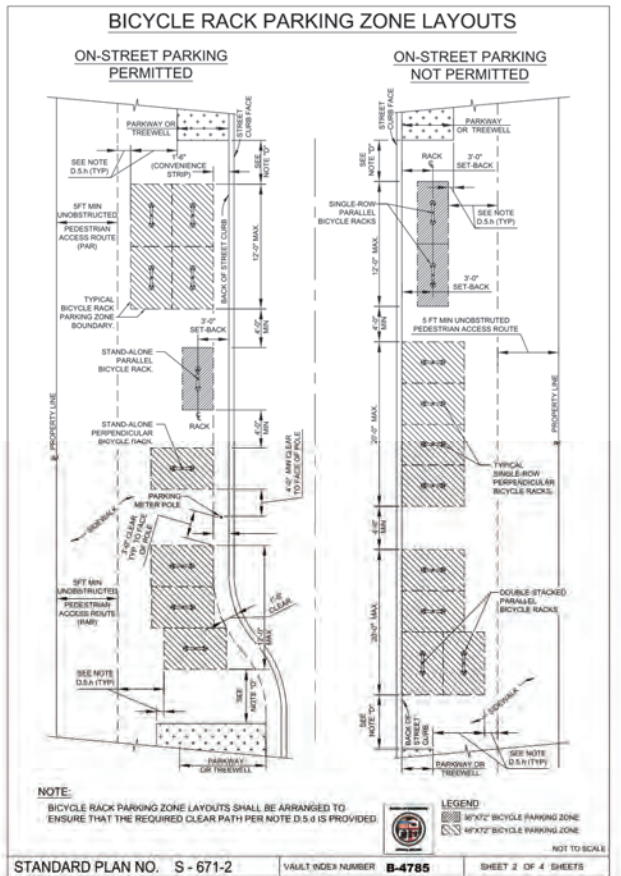
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- NOTES:**
- ALL WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (SSPWC) ADOPTED BY THE BOARD OF PUBLIC WORKS AS AMENDED BY THE LATEST CORRESPONDING CITY OF LOS ANGELES DEPARTMENT OF PUBLIC WORKS BROWN BOOK.
 - COVENANT AND MAINTENANCE AGREEMENT:** ALL BICYCLE RACKS INSTALLED UNDER WORK PERMIT SHALL BE MAINTAINED BY THE PERMITTEE. THE PERMITTEE SHALL COMPLETE THE COVENANT & AGREEMENT (CAA) FORM, AVAILABLE FROM THE DEPARTMENT OF TRANSPORTATION DEVELOPMENT REVIEW DIVISION, EXECUTE IT WITH THE CITY AND RECORD IT WITH THE LOS ANGELES COUNTY REGISTRAR-RECORDER. SUBMIT A COPY OF RECORDED CAA TO THE CITY ENGINEER BEFORE A WORK PERMIT CAN BE ISSUED.
 - GENERAL**
 - UNLESS OTHERWISE SPECIFIED OR APPROVED BY THE CITY ENGINEER, THE BICYCLE RACK SHALL BE AN INVERTED-U DESIGN.
 - BICYCLE RACKS SHALL ALLOW FOR THE USE OF A CABLE AND "U" TYPE LOCKS, AND SHALL SUPPORT THE BICYCLE FRAME (NOT THE WHEEL) AT TWO POINTS. A MINIMUM OF 12 INCH APART.
 - PIPE: ASTM A53 GRADE B STANDARD WEIGHT STEEL PIPE, 2 INCH DIA. CONSTRUCTED OF 90 DEGREE BENDS WITH AN INSIDE RADIUS BEND OF 4-13/16 INCHES. SECURITY CHAIN SHALL BE ASTM A413, GRADE 30 PROOF COIL CHAIN, SIZE 3/8 INCH.
 - BASE PLATE: ASTM A36 3/8 INCH THICK PLATE WITH THREE 3/4 INCH DIA. HOLES AT 120 DEGREE SPACING.
 - BOLT: TAMPER-PROOF DRIVE TYPE PIN ANCHOR BOLT WITH A ROUND HEAD MADE OF ZINC PLATED AISI 1038 HEAT TREATED CARBON STEEL, 1/2 INCH DIA BY 3 INCHES LONG. THE ANCHOR BOLT, SHALL BE MANUFACTURED BY POWERS FASTENERS (WWW.POWERS.COM), ALLIED FASTENER AND TOOL (WWW.ALLIEDFASTENER.COM), OR AN APPROVED EQUIVALENT. NO ANCHOR BOLT SHALL CONTAIN ANY SHARP EDGES.
 - ALL METAL COMPONENTS INCLUDING ALL BOLT HOLES SHALL HAVE MINIMUM 4 MIL THICK BLACK COLORED, LONG WEARING, MILDEW AND ULTRAVIOLET RAY RESISTANT ELECTROSTATIC POLYESTER COATING MADE OF TRIGLYCIDYL (TGC) APPLIED IN THE FACTORY PRIOR TO DELIVERY. ALTERNATE COATING SHALL BE CITY APPROVED THERMOPLASTIC (8-10 MIL THICK).
 - BEFORE COATING APPLICATION, THE BICYCLE RACK SHALL BE SANDBLASTED AND EPOXY PRIMED.
 - ALL FINISH COATINGS SHALL BE MAINTAINED BY THE PERMITTEE. ANY DAMAGED SURFACE AREA INCLUDING THOSE RESULTED FROM THE INSTALLER'S OPERATION SHALL BE REPAIRED TO THE CITY ENGINEER'S SATISFACTION WITH APPROVED MATERIALS IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATION. ALL WASTE SHALL BE HANDLED AND DISPOSED OF IN ACCORDANCE WITH APPLICABLE EPA AND/OR CALIFORNIA STATE REQUIREMENTS.
 - ALL VENT HOLES USED DURING FABRICATION MUST BE PLUGGED AND COATED.
 - ALL BOLT HOLES IN THE CONCRETE PAVEMENT OR THE CONCRETE FOUNDATION SHALL BE PREDRILLED HOLES, 1/2 INCH DIA BY 2 3/4 INCHES DEEP PRIOR TO INSTALLATION. ALL BOLT HOLES SHALL BE CLEANED OF DUST OR DELETERIOUS MATERIAL. ALL ANCHOR BOLTS SHALL BE DRIVEN VERTICALLY THROUGH THE SUPPORT PLATE INTO THE BOLT HOLES UNTIL THE HEAD IS FIRMLY SEATED AGAINST THE SUPPORT PLATE. NO PROTRUDING OR NON-FLUSH ANCHOR BOLTS SHALL BE USED.
 - FOR CONCRETE PAVEMENT THAT IS LESS THAN 3 INCHES THICK, CONSTRUCT CONCRETE FOUNDATION IN ACCORDANCE WITH THE SPECIFIED DETAILS. BIKE RACKS SHALL BE INSTALLED PARALLEL WITH THE PREVAILING SIDEWALK GRADE. THE SIDEWALK GRADE SHALL BE MEASURED AND THE BIKE RACK'S LEGS SHALL BE ADJUSTED TO MATCH THE SIDEWALK GRADE BEFORE WELDING THEM TO THE BASE PLATE. FOR CONCRETE PAVEMENT WITH MINOR UNEVENNESS, USE HOT DIPPED GALVANIZED STEEL OR STAINLESS STEEL WASHERS TO LEVEL THE BIKE RACK AND THE BASE PLATES BEFORE DRIVING THE ANCHOR BOLTS. FILL ALL OPENINGS AND VOIDS WITH NON-SHRINK GROUT AFTER ERECTION OF THE BICYCLE RACK.
 - FOR PARALLEL BICYCLE RACK(S), INSTALLED BY THE LOS ANGELES DEPARTMENT OF TRANSPORTATION (LADOT), ARRANGED IN EITHER A SINGLE ROW OR AS A SINGLE STAND-ALONE RACK, LADOT WILL MAKE THE FINAL DETERMINATION OF WHETHER OR NOT A CROSSBAR IS NEEDED FOR THE BICYCLE RACKS. FOR ALL OTHER RACK LAYOUTS, REGARDLESS OF WHO INSTALLS THEM, A BICYCLE RACK CROSSBAR SHALL BE PROVIDED.
 - BICYCLE RACK CLEARANCES:**
 - FOR SINGLE PARALLEL BICYCLE RACKS AND SINGLE-ROW PARALLEL BICYCLE RACKS, EACH BICYCLE RACK SHALL HAVE A PARKING ZONE OF 36 INCH WIDE BY 72 INCH LONG. FOR ALL OTHER BICYCLE RACK ARRANGEMENTS, EACH BICYCLE RACK SHALL HAVE A PARKING ZONE OF 48 INCH WIDE BY 72 INCH LONG.
 - BICYCLE RACKS SHALL BE INSTALLED WITHIN THE SIDEWALK AMENITY ZONE ADJACENT AND CLOSEST TO THE STREET CURB OUTSIDE BUS BOARDING ZONES AT LOCATIONS APPROVED BY THE CITY ENGINEER AND THE CITY OF LOS ANGELES DEPARTMENT OF TRANSPORTATION.

STANDARD PLAN NO. S-671-2 VAULT INDEX NUMBER B-4785 SHEET 3 OF 4 SHEETS



SHORT TERM BICYCLE PARKING RACK

NTS 1

THE ABOVE DRAWINGS, SPECIFICATIONS, AND NOTES SHALL BE REMAINED THE PROPERTY OF THE ARCHITECT AND NO PART THEREOF SHALL BE COPIED, REPRODUCED, DISCLOSED TO OTHERS, OR USED IN CONNECTION WITH ANY OTHER WORK OR PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. THESE DRAWINGS AND SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

Revision No.	Revision Desc.	Revision Date

Albert Group
 2032 Stoner Avenue | Los Angeles, CA 90025



28TH STREET APARTMENTS
 647 WEST 28TH STREET
 LOS ANGELES, CALIFORNIA 90007

PROJECT NUMBER: 2116
 PROJECT PHASE: REDESIGN
 SHEET ISSUE DATE: 3/15/2022
 SHEET NAME: ARCHITECTURAL DETAILS - SITE
 SHEET NUMBER:

AD.91

PLANT LEGEND - GROUND FLOOR








BOTANICAL NAME	COMMON NAME	SIZE AT 5 YRS.	PLANT TYPE
 GEIJERA PARVIFLORA	AUSTRALIAN WILLOW	20' X 15'	TREE
 HARDENBERGIA VIOLACEA 'HAPPY WANDERER'	LILAC VINE	10' X 5'	VINE
 LOMANDRA 'NYALLA'	NYALLA MAT RUSH	3' X 3'	GRASS LIKE
 PHYLLA NODIFLORA 'KURAPIA'	KURAPIA	2' X 3'	GROUND COVER
 SANSEVIERIA 'MASONIANA'	MOTHER-IN-LAW'S TONGUE	3' X 3'	PERENNIAL
 SETARIA PALMIFOLIA	PALM GRASS	4' X 4'	PERENNIAL
 WESTRINGIA 'GREY BOX'	COAST ROSEMARY CULTIVAR	2.5' X 2.5'	SHRUB

EXHIBIT "A"
Page No. 17 of 19
Case No. ADM-2021-10799-CU-DB-SIP-PHP-HCA

KEY NOTES

1. WOOD BENCH



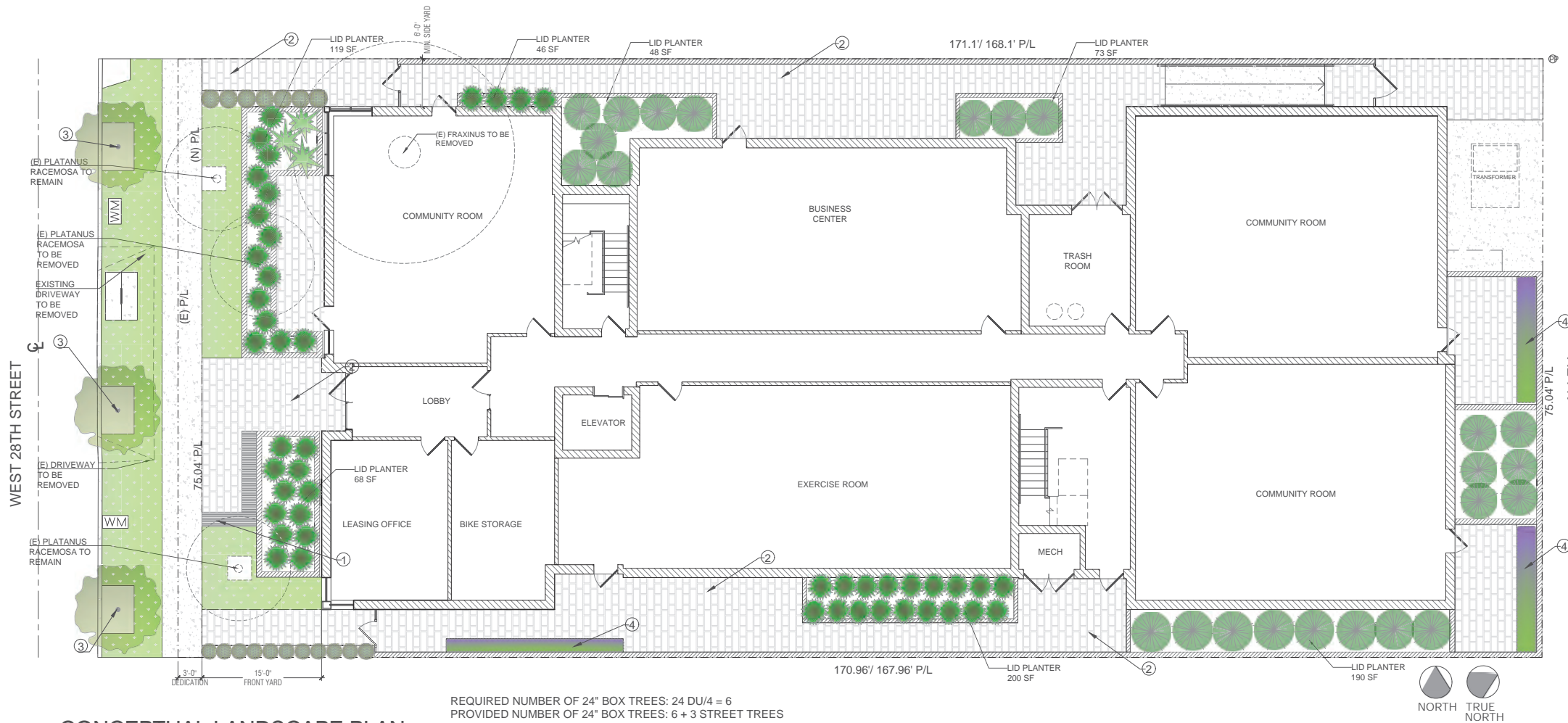
2. PERMEABLE PAVERS



3. PROPOSED PARKWAY TREE



4. VINES SCREENING WALL



REQUIRED NUMBER OF 24" BOX TREES: 24 DU/4 = 6
PROVIDED NUMBER OF 24" BOX TREES: 6 + 3 STREET TREES

GROUND FLOOR TREES: 2
ROOF: 4

CONCEPTUAL LANDSCAPE PLAN
GROUND FLOOR
SCALE: 1/8" = 1'-0"

MULTI-FAMILY DEVELOPMENT
647 WEST 28TH STREET
LOS ANGELES CA 90007

VIRIDITAS
DESIGN

Landscape Architecture

Anne Jones
RLA CA 5999
viriditasdesigngroup@gmail.com
2735 W. Avenue 33
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323.377.1018



A.P.N. 5123-015-401
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OWNER:
FARCO PROPERTIES LLC
MARK FARZAN
15250 VENTURA BLVD, SUITE 508
SHERMAN OAKS, CA 91403

DATE:
SEPTEMBER 18, 2021

SCALE:
1/8" = 1'-0"

CONCEPTUAL
LANDSCAPE PLAN
GROUND FLOOR










L-1.1

PLANT LEGEND - ROOF

EXHIBIT "A"

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Case No. ADM-2021-10799-CU-DB-SIP-PHP-HCA

BOTANICAL NAME	COMMON NAME	SIZE AT 5 YRS.	PLANT TYPE
 AGAVE BRACTEOSA	SQUID AGAVE	3' X 3'	SUCCULENT
 ALOE STRIATA	CORAL ALOE	2' X 2'	SUCCULENT
 CASUARINA GLAUCA 'COUSIN IT'	PROSTRATE SWAMP OAK	1' X 5'	SHRUB
 OLEA EUROPAEA 'LITTLE OLLIE'	DWARF OLIVE	4' X 4'	SHRUB
 OLEA EUROPAEA 'WILSON'S FRUITLESS' - MULTI-TRUNK	FRUITLESS OLIVE	10' X 10'	TREE
 PHORMIUM 'AMAZING RED'	NEW ZEALAND FLAX	3' X 3'	PERENNIAL
 SANSEVIERIA 'MASON'S CONGO'	MOTHER-IN-LAW'S TONGUE	3' X 3'	PERENNIAL
 SENECIO JACOBSENI	TRAILING JADE	<1' X 4'	SUCCULENT
 SETARIA PALMIFOLIA	PALM GRASS	3' X 4'	PERENNIAL

KEY NOTES

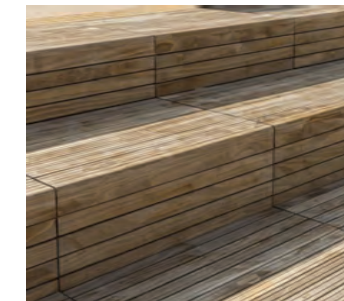
1. BAR HEIGHT TABLE



2. PING PONG TABLE



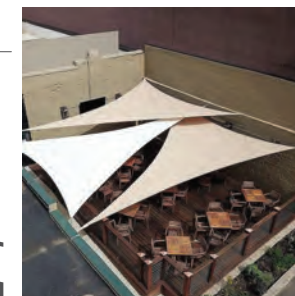
4. STADIUM SEATING



6. PICNIC TABLE



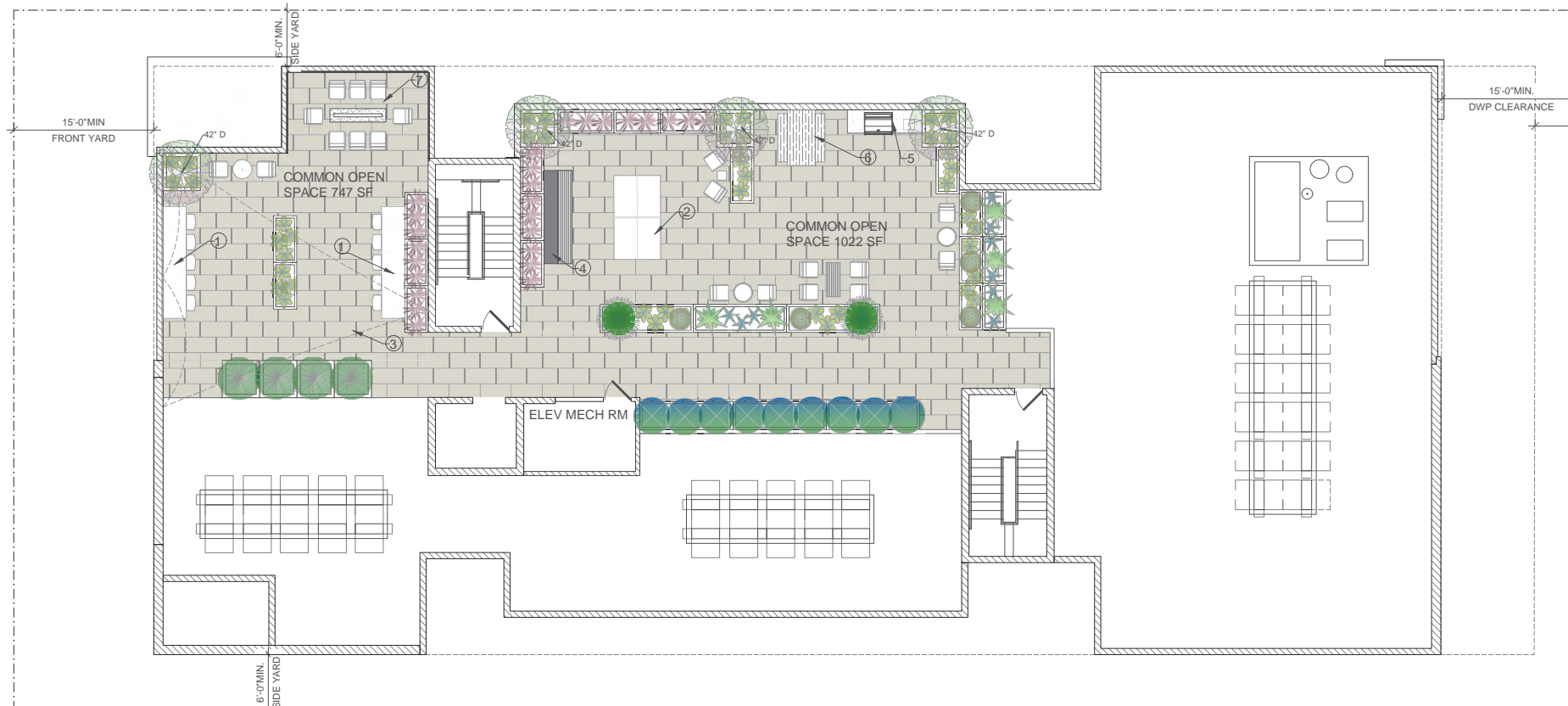
3. SHADE SAILS



5. BBQ



7. FIRE PIT



REQUIRED LANDSCAPE AREA - COMMON OPEN SPACE #1:
25 X 747 S.F. = 187 S.F.
PROVIDED LANDSCAPE AREA: 142.5 S.F.

REQUIRED LANDSCAPE AREA - COMMON OPEN SPACE #2:
.25 X 1022 S.F. = 256 S.F.
PROVIDED LANDSCAPE AREA: 410.5 S.F.



CONCEPTUAL LANDSCAPE PLAN - ROOF
SCALE: 1/8" = 1'-0"

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CONCEPTUAL
LANDSCAPE PLAN
ROOF

L-1.2



AUSTRALIAN WILLOW



CORAL ALOE



COAST ROSEMARY



DWARF OLIVE



FRUITLESS OLIVE

EXHIBIT "A"

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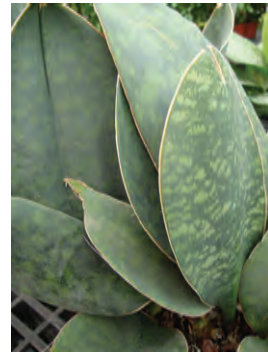
Case No. ADM-2021-10799-CU-DB-SIP-PHP-HCA



KURAPIA



LILAC VINE



MOTHER-IN-LAW'S TONGUE



NEW ZEALAND FLAX



NYALLA MAT RUSH



PALM GRASS



PROSTRATE SWAMP OAK



SQUID AGAVE



TRAILING JADE

MULTI-FAMILY DEVELOPMENT
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CONCEPTUAL
PLANT PALETTE

L-2