

**A1 SITE PLAN**  
SCALE: 1/16"=1'-0"

**PARKING CALCULATION**

**PARKING REQUIRED**

**PROPOSED COMMERCIAL PROGRAM (PER ENTERPRISE ZONE PARKING REQ.)**

- RESTAURANT: 1,778 SF (1 PER 500 SF)= 3.56 SPACE
- CAFE AREA: 702 SF (1 PER 500 SF)= 1.40 SPACE
- CONCIERGE/LOUNGE AREA: 1,246 SF (1 PER 500 SF)= 2.49 SPACE
- HOTEL OFFICE: 291 SF (1 PER 500 SF)= 0.58 SPACE
- CONVENIENCE STORE: 428 SF (1 PER 500 SF)= 0.86 SPACE

**PROPOSED RESIDENTIAL PROGRAM (PER CENTRAL CITY PARKING REQ.)**

- TOTAL 47 GUEST ROOM PROPOSED
- FIRST 20 GUEST RM (1 PER 2 GUEST RM)= 10 SPACE
- SECOND 20 GUEST RM (1 PER 4 GUEST RM)= 5 SPACE
- ADDITIONAL EACH 6 GUEST RM (1 PER 6 GUEST RM)= 1 SPACE

TOTAL SPACE REQUIRED: 9 COMMERCIAL + 16 RESIDENTIAL= 25 SPACE

**PARKING PROVIDED**

- STANDARD SPACES: 19 SPACE (8 COMMERCIAL, 11 RESIDENTIAL)
- COMPACT SPACES: 8 SPACE (4 COMMERCIAL, 4 RESIDENTIAL)
- HANDICAPPED SPACES: 2 SPACE (1 VAN, 1 STANDARD)

TOTAL SPACE PROVIDED: 29 SPACE (13 COMMERCIAL, 16 RESIDENTIAL)

**PROGRAM / SEATING SUMMARY FOR CUB**

**RESTAURANT @ LEVEL 2:**

- NET USABLE FLOOR AREA: 1,063 SF DINING HALL + 369 SF PATIO
- SEATING COUNT: 76 (INDOOR 57, OUTDOOR 19)

**CAFE AREA @ LEVEL 2:**

- NET USABLE FLOOR AREA: 702 SF
- SEATING COUNT: 20

**TERRACE @ LEVEL 2:**

- NET USABLE FLOOR AREA: 659 SF
- SEATING COUNT: 19

**LOUNGE AREA @ LEVEL 2:**

- NET USABLE FLOOR AREA: 967 SF
- SEATING COUNT: 33

**ROOFTOP BAR @ LEVEL 3:**

- NET USABLE FLOOR AREA: 1,288 SF
- SEATING COUNT: 51

**TOTAL 199 SEATS**

**PROJECT DESCRIPTION**

- 1 BASEMENT FLOOR, 5 STORY HOTEL NEW CONSTRUCTION WITH 47 GUEST ROOMS AND HOTEL AMENITIES SUCH AS RESTAURANT, CAFE, ROOFTOP BAR, CONVENIENCE STORE, AND PARKING GARAGE.

**LEGAL DESCRIPTION**

PORTION OF LOT 16 OF JUDSON TRACT, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN M.R. BOOK 11, PAGE 6 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

APN: 5123-019-016

PORTION OF LOT 15 OF JUDSON TRACT, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN M.R. BOOK 11, PAGE 6 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

APN: 5123-019-014

**PROJECT DATA**

SITE LOCATION:	2813 S FLOWER ST. LOS ANGELES, CA 90007 2819 S FLOWER ST. LOS ANGELES, CA 90007
ZONE:	C2-1L
LOT AREA:	13,389 SF
FLOOR AREA RATIO:	1.5:1
FLOOR AREA:	19,958 SF (PER ZONING CODE) 41,263 SF (PER BUILDING CODE)
FLOOR AREA JUSTIFICATION:	13,389 SF X 1.5 = 20,085 SF > 19,958 SF (O.K)
CONSTRUCTION TYPE:	TYPE I-A (B1~L2), TYPE III-A (L3~L5)
NUMBER OF STORIES:	1 BASEMENT FLOOR, 5 STORY ABOVE GRADE
BUILDING HEIGHT:	70.16' < 75' HEIGHT LIMIT PER ZONING CODE 71.79' < 85' HEIGHT LIMIT PER BUILDING CODE

ARCHITECT  
**DK design workshop**  
818 S BROADWAY #1000  
LOS ANGELES, CA 90014  
TEL 323 591 0432  
EMAIL INFO@DKDESIGNWORKSHOP.COM

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INTERIOR DESIGN  
**WANG**  
JFK | LHR | HKG

PROJECT  
**2813 FLOWER ST HOTEL  
F&B TENANT IMPROVEMENT**  
2813 & 2819 FLOWER ST.  
LOS ANGELES, CA 90007

CUB PLAN SET  
THE WANGS, A/E/C ARCHITECTS, L.L.C.  
3322 UNICOMA AVE. #300 LOS ANGELES, CA 90008  
TEL 213 617 9332

PRINT RECORD:

REV #	DATE	DESCRIPTION
02/16/21		CUB PLAN SET

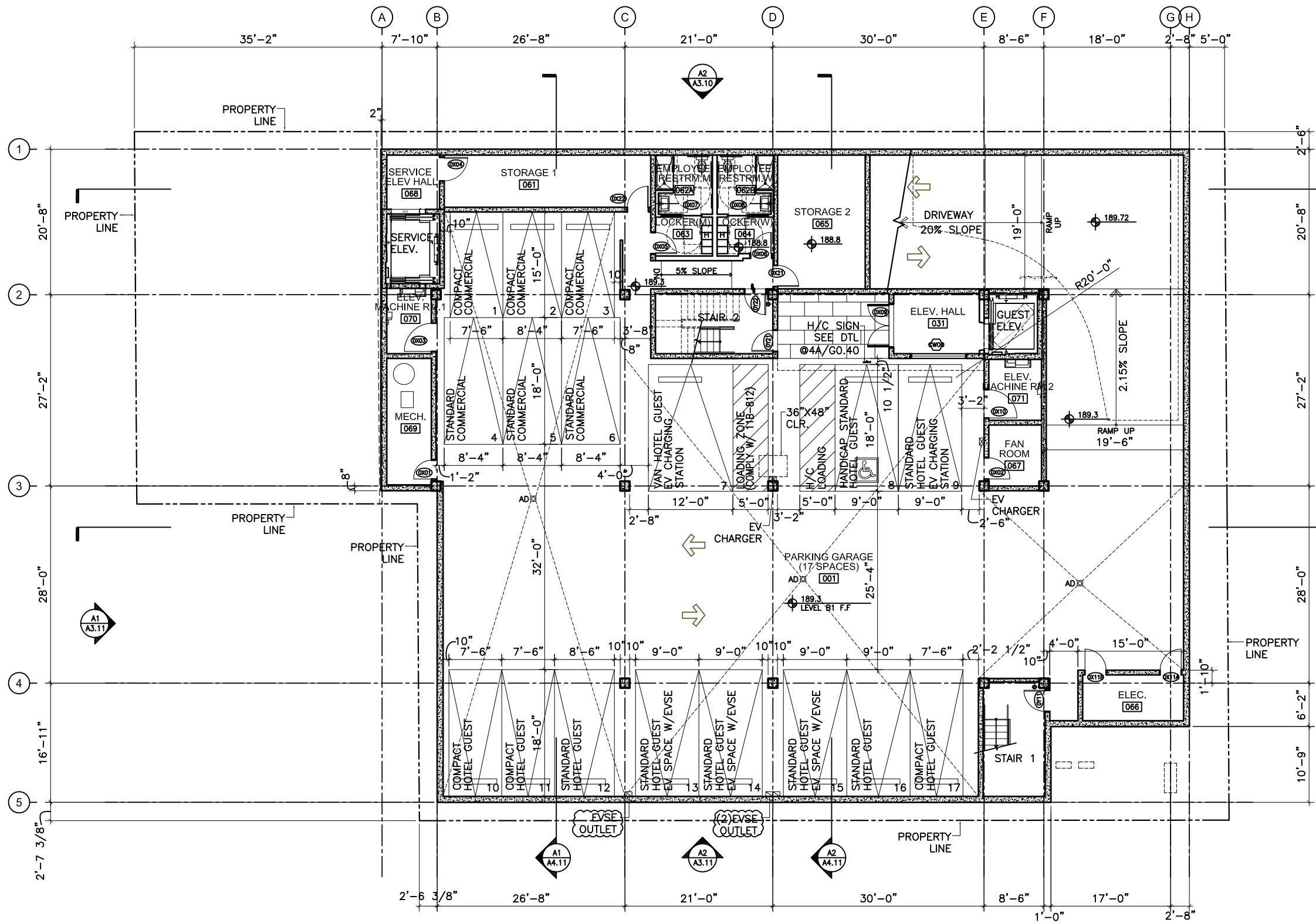
PROJECT NAME:  
**2813 FLOWER ST HOTEL  
F&B TENANT  
IMPROVEMENT**

PROJECT SITE:  
2813 & 2819 FLOWER ST.  
LOS ANGELES, CA 90007

DATE: 02/16/21  
DRAWN BY:

SHEET TITLE:  
**SITE PLAN**

SHEET NUMBER:  
**A1.10**



**WALL LEGEND**

- CONCRETE WALL (3HR FIRE RATED)
- CMU WALL (3HR FIRE RATED)
- 1HR FIRE RATED WALL (STC 50) SEE DTL 02-04
- INTERIOR PARTITION TYPE/A7.20
- 2HR FIRE RATED WALL (3HR FIRE RATED) SEE DTL 03
- INTERIOR PARTITION TYPE /A7.20

**EV PARKING NOTE**

1. THE ELECTRICAL SYSTEM SHALL HAVE SUFFICIENT CAPACITY TO SIMULTANEOUSLY CHARGE ALL DESIGNATED EV SPACES AT THE FULL RATED AMPERAGE OF THE EVSE. PLAN DESIGN SHALL BE BASED UPON A 40-AMPERE MINIMUM BRANCH CIRCUIT. A SEPARATE ELECTRICAL PERMIT IS REQUIRED.
2. THE SERVICE PANEL OR SUBPANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACE(S) RESERVED FOR FUTURE EV CHARGING PURPOSES AS EV CAPABLE IN ACCORDANCE WITH THE LOS ANGELES ELECTRICAL CODE.

**GREEN PAVEMENT NOTE**

1. 100% OF OUTDOOR HARD PAVEMENT AREA TO BE PERMEABLE PAVEMENT PER 4.106.7
2. SEE CIVIL DWG FOR SPECIFICATION & DETAIL OF POROUS CONCRETE OR PERMEABLE PAVER
3. HARDSCAPE MATERIAL SHALL HAVE AN INITIAL SOLAR REFLECTANCE OF AT LEAST 0.30, AND SHALL BE UNCOLORED CONCRETE WITH SMOOTH CEMENT FINISH.

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F&B TENANT IMPROVEMENT**  
2813 & 2819 FLOWER ST.  
LOS ANGELES, CA 90007  
CUB PLAN SET

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02/16/21		CUB PLAN SET

PROJECT NAME:  
**2813 FLOWER ST HOTEL  
F&B TENANT  
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PROJECT SITE:  
2813 & 2819 FLOWER ST.  
LOS ANGELES, CA 90007

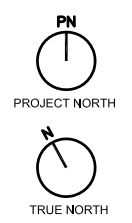
DATE:  
**02/16/21**

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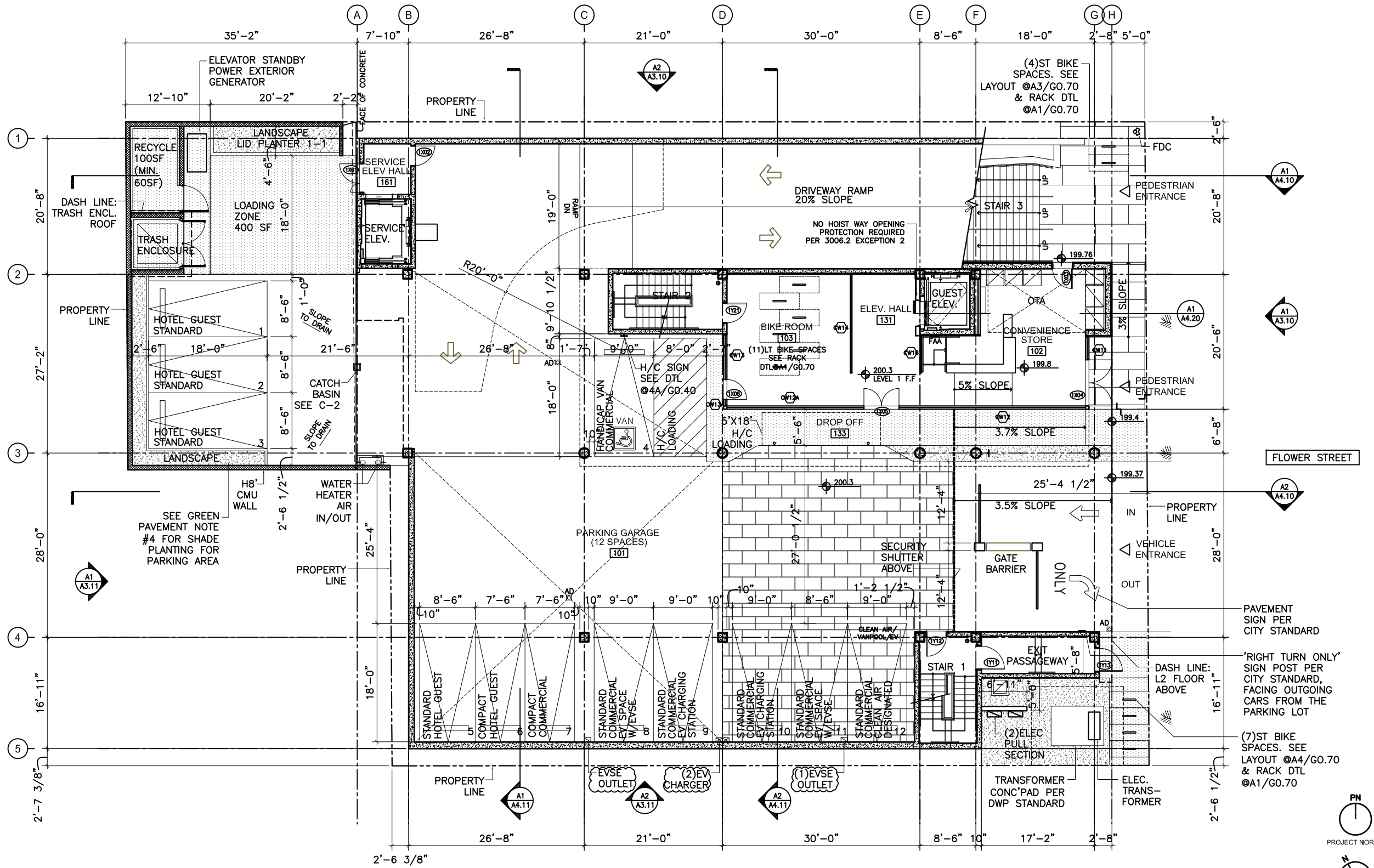
**FLOOR PLAN**

SHEET NUMBER:

**A2.10**



**A1 FLOOR PLAN LEVEL B1**  
SCALE: 1/16"=1'-0"



**WALL LEGEND**

- CONCRETE WALL (3HR FIRE RATED)
- CMU WALL (3HR FIRE RATED)
- 1HR FIRE RATED WALL (STC 50) SEE DTL @A2/A3
- INTERIOR PARTITION TYPE/A7.20
- 2HR FIRE RATED WALL SEE DTL @A4/A5
- INTERIOR PARTITION TYPE /A7.20

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**GREEN PAVEMENT NOTE**

1. 100% OF OUTDOOR HARD PAVEMENT AREA TO BE PERMEABLE PAVEMENT PER 4.106.7
2. SEE CIVIL DWG FOR SPECIFICATION & DETAIL OF POROUS CONCRETE OR PERMEABLE PAVER
3. HARDSCAPE MATERIAL SHALL HAVE AN INITIAL SOLAR REFLECTANCE OF AT LEAST 0.30, AND SHALL BE UNCOLORED CONCRETE WITH SMOOTH CEMENT FINISH.
4. SHADE TREE PLANTINGS FOR SURFACE PARKING AREA: MINIMUM NO. 10 CONTAINER SIZE OR EQUAL SHALL BE INSTALLED TO PROVIDE SHADE OVER 50 PERCENT OF THE PARKING AREA WITHIN 15 YEARS.



**A1 FLOOR PLAN LEVEL 1**  
SCALE: 1/16"=1'-0"

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INTERIOR DESIGN

**WANG**  
JFK | LHA | HKG

PROJECT

**2813 FLOWER ST HOTEL  
F&B TENANT IMPROVEMENT**  
2813 & 2819 FLOWER ST.  
LOS ANGELES, CA 90007

CUB PLAN SET

PRINT RECORD:

REV #	DATE	DESCRIPTION
02/16/21		CUB PLAN SET

PROJECT NAME:  
**2813 FLOWER ST HOTEL  
F&B TENANT  
IMPROVEMENT**

PROJECT SITE:  
2813 & 2819 FLOWER ST.  
LOS ANGELES, CA 90007

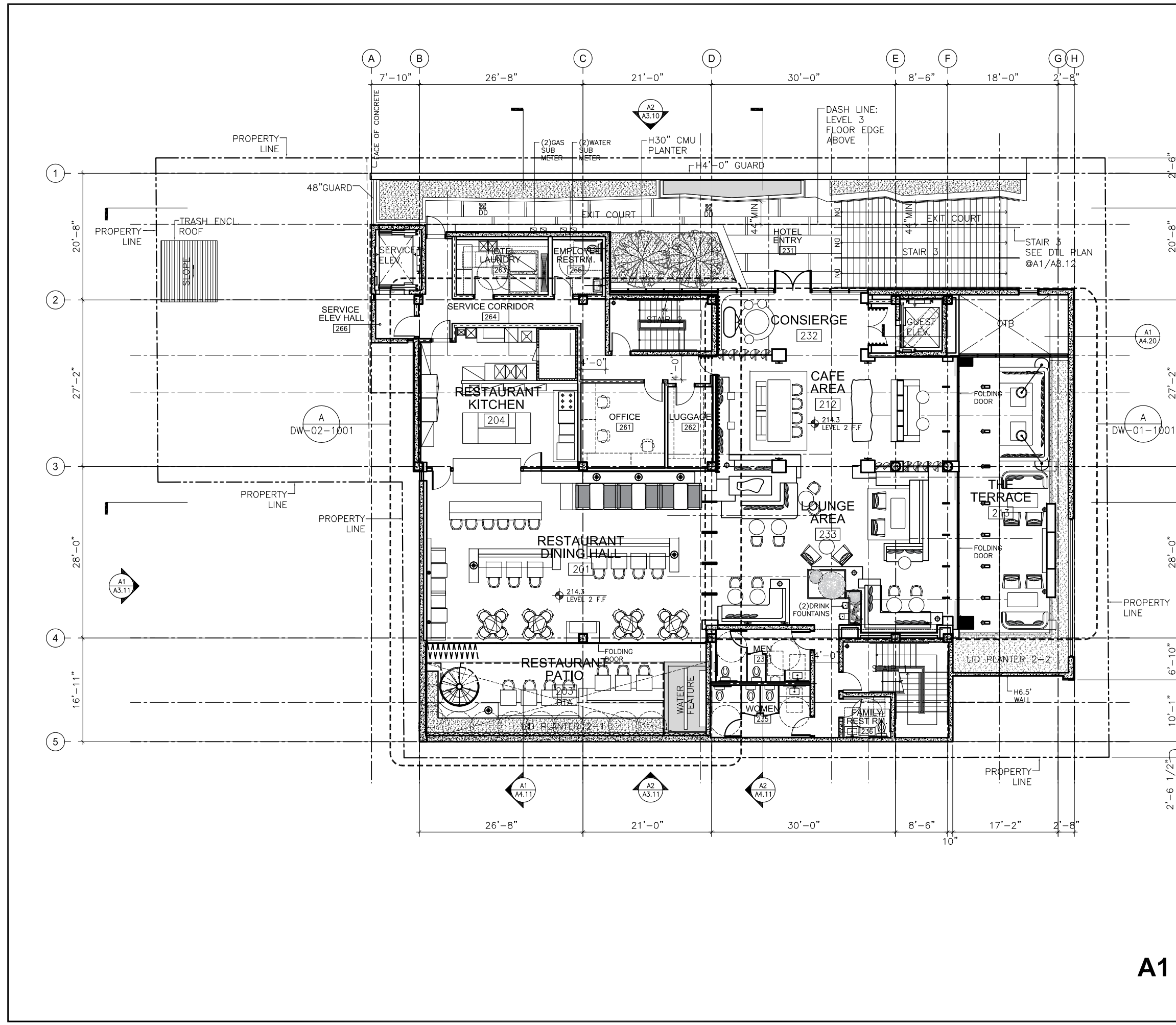
DATE:  
**02/16/21**

DRAWN BY:







SHEET TITLE:  
**FLOOR PLAN**

SHEET NUMBER:  
**A2.11**





**WALL LEGEND**

-  CONCRETE WALL (3HR FIRE RATED)
-  CMU WALL (3HR FIRE RATED)
-  1HR FIRE RATED WALL (STC 50) SEE DTL @ 02-04
-  INTERIOR PARTITION TYPE/A7.20
-  2HR FIRE RATED WALL SEE DTL @ 03-01
-  INTERIOR PARTITION TYPE /A7.20

ARCHITECT  
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 F&B TENANT IMPROVEMENT**  
 2813 & 2819 FLOWER ST.  
 LOS ANGELES, CA 90007

CUB PLAN SET  
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 8322 LINCOLN AVE. LOS ANGELES, CA 90046  
 TEL: 323-471-9332

PRINT RECORD:

REV #	DATE	DESCRIPTION
02/16/21		CUB PLAN SET

PROJECT NAME:  
**2813 FLOWER ST HOTEL  
 F&B TENANT  
 IMPROVEMENT**

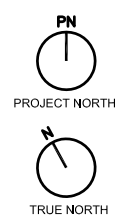
PROJECT SITE:  
 2813 & 2819 FLOWER ST.  
 LOS ANGELES, CA 90007

DATE: **02/16/21**  
 DRAWN BY:

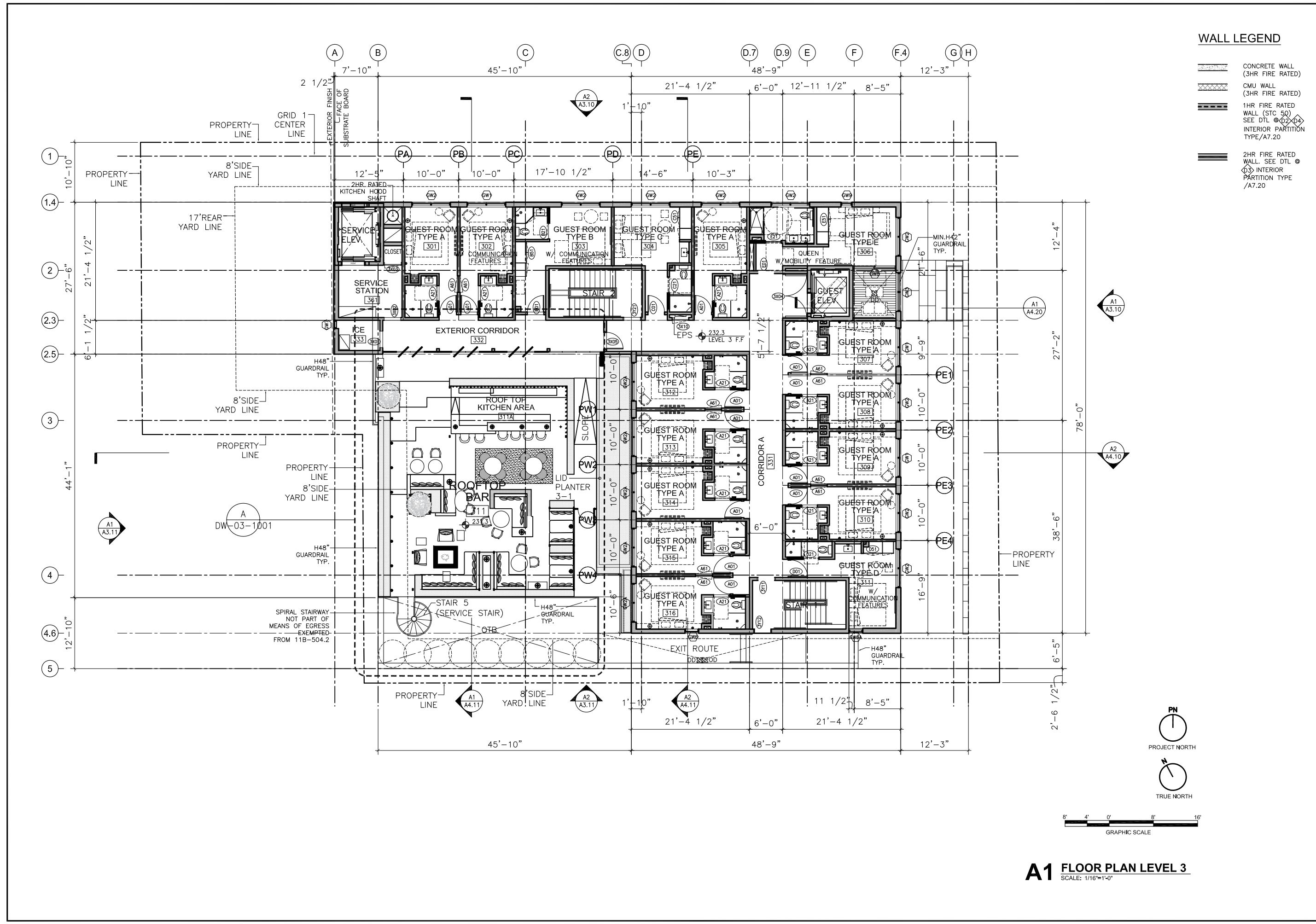
SHEET TITLE:  
**FLOOR PLAN**

SHEET NUMBER:  
**A2.12**

**A1 FLOOR PLAN LEVEL 2**  
 SCALE: 1/16"=1'-0"







**WALL LEGEND**

- CONCRETE WALL (3HR FIRE RATED)
- CMU WALL (3HR FIRE RATED)
- 1HR FIRE RATED WALL (STC 50) SEE DTL @ 02-04
- INTERIOR PARTITION TYPE/A7.20
- 2HR FIRE RATED WALL SEE DTL @
- INTERIOR PARTITION TYPE /A7.20

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 2813 & 2819 FLOWER ST.  
 LOS ANGELES, CA 90007

CUB PLAN SET  
 THE WANGS, INC. INTERIORS, L.L.C.  
 8322 LINCOLN AVE., LOS ANGELES, CA 90042  
 TEL: 323-471-9332

PRINT RECORD:

REV #	DATE	DESCRIPTION
02/16/21		CUB PLAN SET

PROJECT NAME:  
**2813 FLOWER ST HOTEL  
 F&B TENANT  
 IMPROVEMENT**

PROJECT SITE:  
 2813 & 2819 FLOWER ST.  
 LOS ANGELES, CA 90007

DATE: **02/16/21**  
 DRAWN BY:

**FLOOR PLAN**

SHEET NUMBER:  
**A2.13**

**A1 FLOOR PLAN LEVEL 3**  
 SCALE: 1/16"=1'-0"

NB. ALL DRAWING REFERENCE NUMBERS HAVE 'JW-ID-' PREFIX

KEY PLAN

DRAWING LEGEND

ELEVATION	LIGHTING
ROOM NUMBER	FURNITURE
	ACCESSORIES

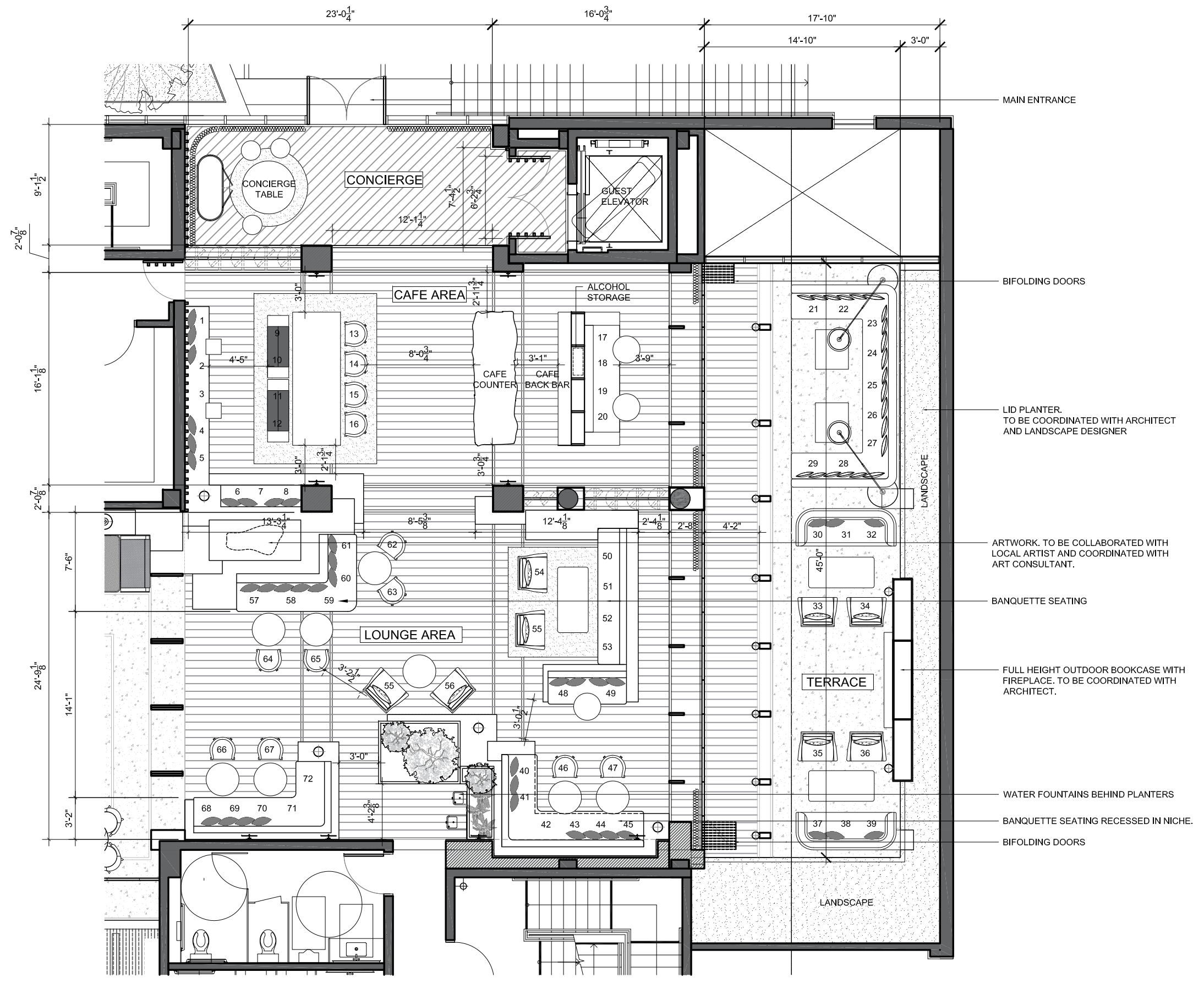
REVISION	COMMENT	DATE
A	100% SD SUBMISSION	12.17.20

DESIGN INTENT ONLY

**SCHEMATIC DESIGN**

PROJECT TITLE	
FSHLA	
DRAWING TITLE	
GA - Part Plan - L2 Public Area	
DRAWING NUMBER	
DW-01-1001	
DATE	DRAWN
12.17.2020	JS
STUDIO	CHECKED
LDN	CS
JOB NUMBER	SCALE
FSHLA	1/8"=1'-0"

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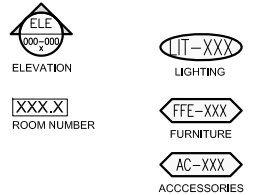


**A** GA - PART PLAN L2 PUBLIC AREA  
 1/8" = 1'-0"

NB. ALL DRAWING REFERENCE NUMBERS HAVE 'JW-ID-' PREFIX

KEY PLAN

DRAWING LEGEND

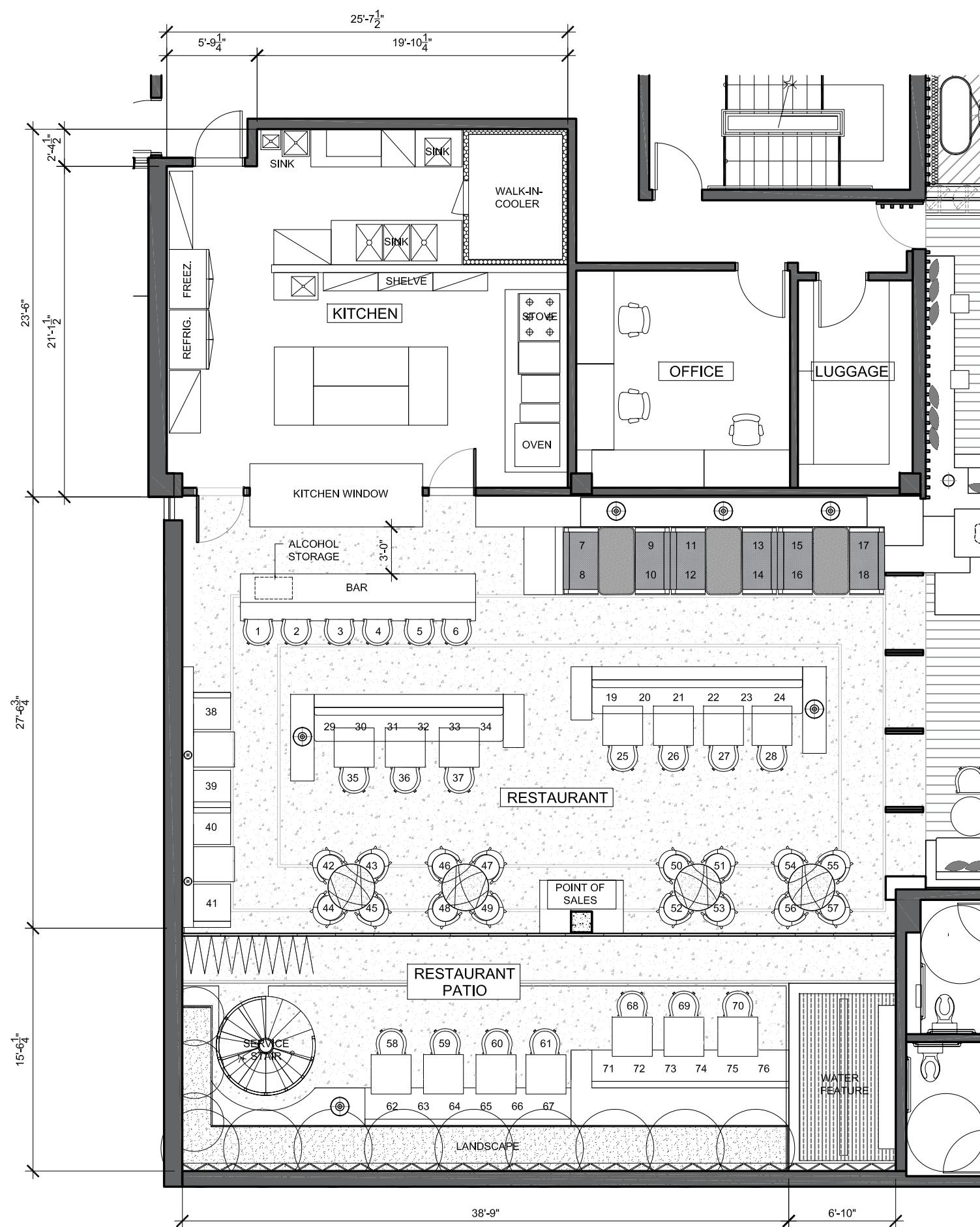


REVISION	COMMENT	DATE

DESIGN INTENT ONLY

PROJECT TITLE	
FSHLA	
DRAWING TITLE	
GA - Part Plan - L2 Restaurant	
DRAWING NUMBER	
DW-02-1001	
DATE	DRAWN
-	-
STUDIO	CHECKED
LDN	-
JOB NUMBER	SCALE
FSHLA	1/8"=1'-0"

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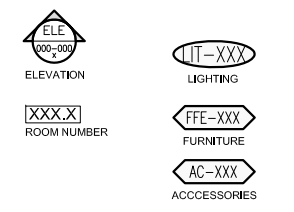
**A** GA - PART PLAN L2 RESTAURANT  
 1/8" = 1'-0"



NB. ALL DRAWING REFERENCE NUMBERS HAVE 'JW-ID-' PREFIX

KEY PLAN

DRAWING LEGEND



REVISION	COMMENT	DATE
A	100% SD SUBMISSION	12.17.20

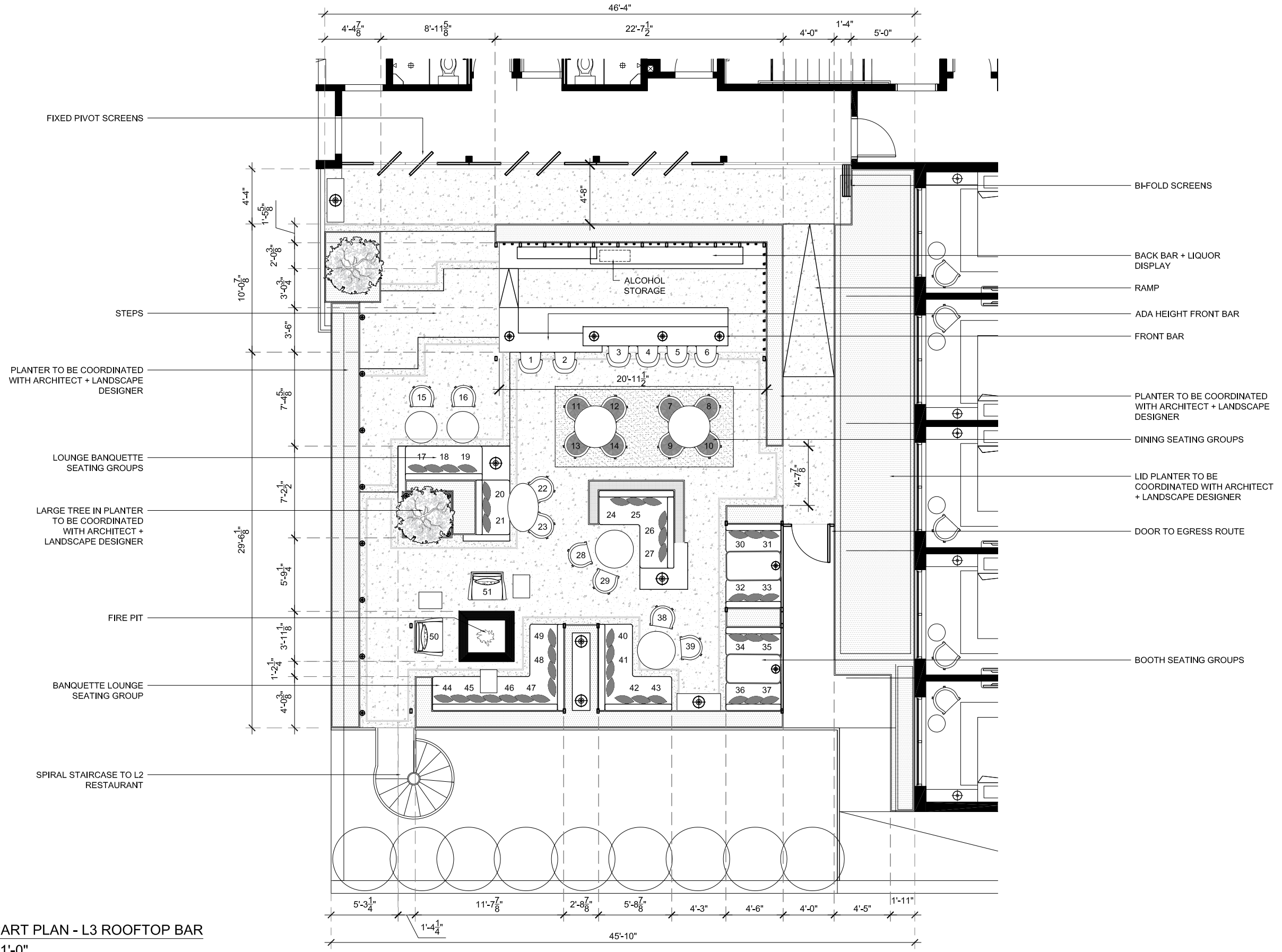
DESIGN INTENT ONLY

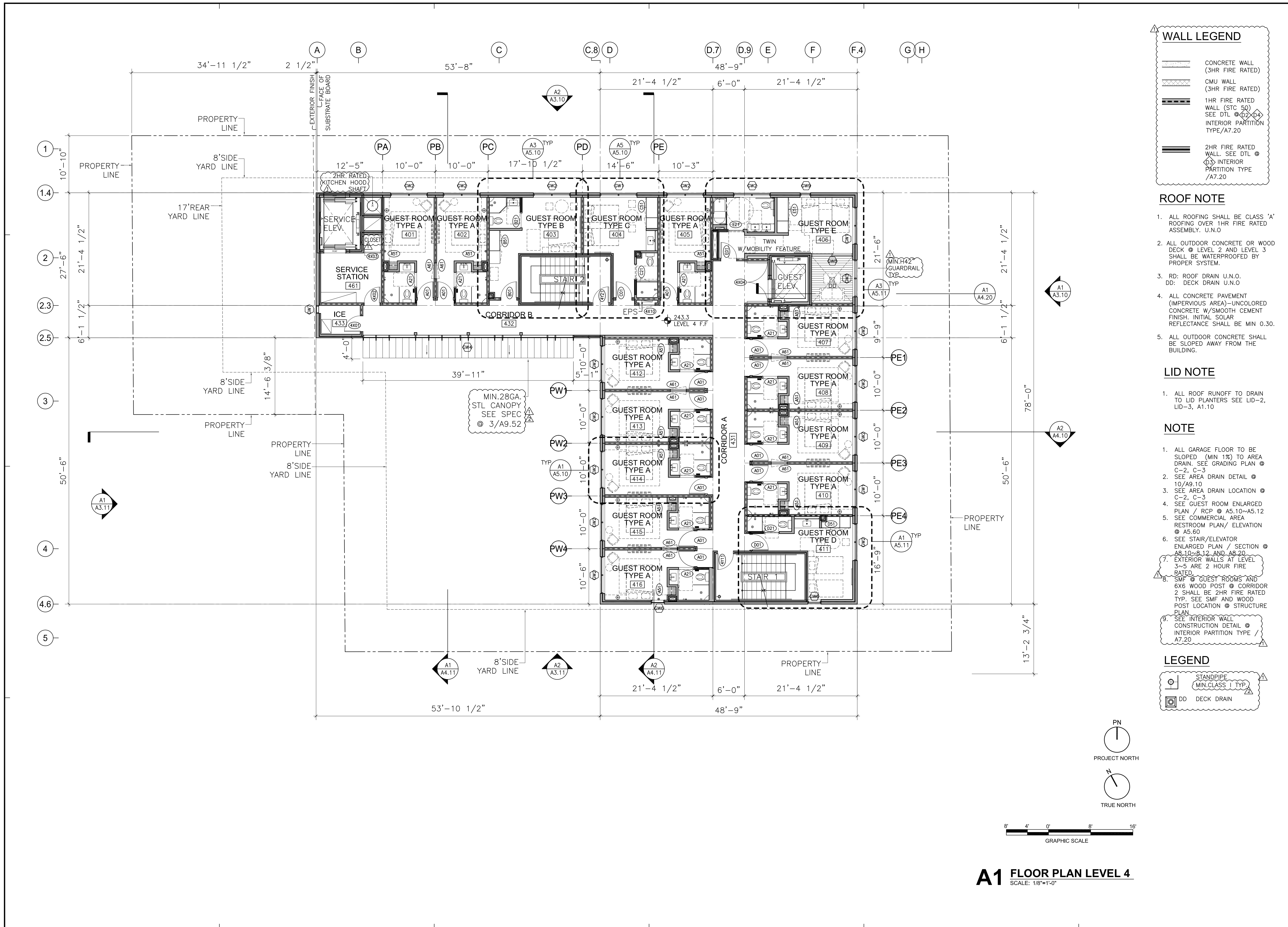
**SCHEMATIC DESIGN**

PROJECT TITLE	
FSHLA	
DRAWING TITLE	
GA - Part Plan - L3 Rooftop Bar	
DRAWING NUMBER	
DW-03-1001	
DATE	DRAWN
12.17.2020	JS
STUDIO	CHECKED
LDN	CS
JOB NUMBER	SCALE
FSHLA	1/8"=1'-0"

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**A** GA - PART PLAN - L3 ROOFTOP BAR  
 1/8" = 1'-0"





### WALL LEGEND

- CONCRETE WALL (3HR FIRE RATED)
- CMU WALL (3HR FIRE RATED)
- 1HR FIRE RATED WALL (STC 50) SEE DTL @ D2/D4
- INTERIOR PARTITION TYPE/A7.20
- 2HR FIRE RATED WALL. SEE DTL @ D3
- INTERIOR PARTITION TYPE/A7.20

- ### ROOF NOTE
- ALL ROOFING SHALL BE CLASS 'A' ROOFING OVER 1HR FIRE RATED ASSEMBLY. U.N.O
  - ALL OUTDOOR CONCRETE OR WOOD DECK @ LEVEL 2 AND LEVEL 3 SHALL BE WATERPROOFED BY PROPER SYSTEM.
  - RD: ROOF DRAIN U.N.O.  
DD: DECK DRAIN U.N.O
  - ALL CONCRETE PAVEMENT (IMPERVIOUS AREA)-UNCOLORED CONCRETE W/SMOOTH CEMENT FINISH. INITIAL SOLAR REFLECTANCE SHALL BE MIN 0.30.
  - ALL OUTDOOR CONCRETE SHALL BE SLOPED AWAY FROM THE BUILDING.

- ### LID NOTE
- ALL ROOF RUNOFF TO DRAIN TO LID PLANTERS SEE LID-2, LID-3, A1.10

- ### NOTE
- ALL GARAGE FLOOR TO BE SLOPED (MIN 1%) TO AREA DRAIN. SEE GRADING PLAN @ C-2, C-3
  - SEE AREA DRAIN DETAIL @ 10/A9.10
  - SEE AREA DRAIN LOCATION @ C-2, C-3
  - SEE GUEST ROOM ENLARGED PLAN / RCP @ A5.10-A5.12
  - SEE COMMERCIAL AREA RESTROOM PLAN/ ELEVATION @ A5.60
  - SEE STAIR/ELEVATOR ENLARGED PLAN / SECTION @ A8.10-A8.12 AND A8.20
  - EXTERIOR WALLS AT LEVEL 3-5 ARE 2 HOUR FIRE RATED.
  - SMF @ GUEST ROOMS AND 6X6 WOOD POST @ CORRIDOR 2 SHALL BE 2HR FIRE RATED TYP. SEE SMF AND WOOD POST LOCATION @ STRUCTURE PLAN.
  - SEE INTERIOR WALL CONSTRUCTION DETAIL @ INTERIOR PARTITION TYPE /A7.20

### LEGEND

- STANDPIPE (MIN.CLASS 1 TYP.)
- DD DECK DRAIN

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**2813 FLOWER ST HOTEL**  
**NEW CONSTRUCTION**  
 2813 & 2819 FLOWER ST.  
 LOS ANGELES, CA 90007

PRINT RECORD:

REV #	DATE	DESCRIPTION
	01/28/20	CUB PLAN SET
	04/07/20	PLAN CHECK SET
△	09/21/20	CORRECTION SET
△	10/22/20	CORRECTION SET

PROJECT NAME:  
**2813 FLOWER ST HOTEL**  
**NEW CONSTRUCTION**

PROJECT SITE:  
**2813 & 2819 FLOWER ST.**  
**LOS ANGELES, CA 90007**

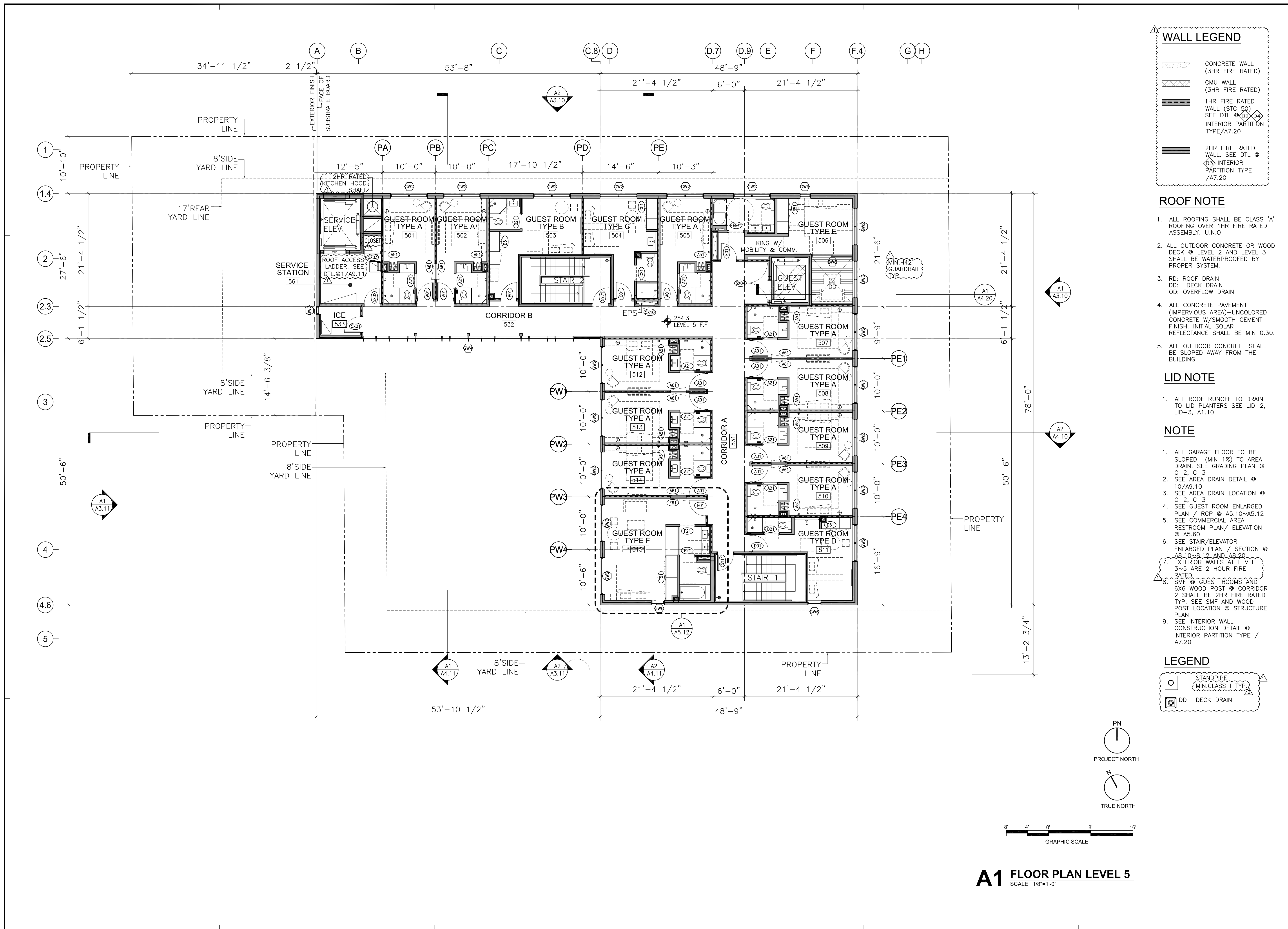
DATE: **10/22/20** DRAWN BY:

SHEET TITLE:  
**FLOOR PLAN**

SHEET NUMBER:  
**A2.14**

**A1 FLOOR PLAN LEVEL 4**  
 SCALE: 1/8"=1'-0"





**WALL LEGEND**

- CONCRETE WALL (3HR FIRE RATED)
- CMU WALL (3HR FIRE RATED)
- 1HR FIRE RATED WALL (STC 50) SEE DTL @ 02/04
- INTERIOR PARTITION TYPE/A7.20
- 2HR FIRE RATED WALL. SEE DTL @ 03/03
- INTERIOR PARTITION TYPE /A7.20

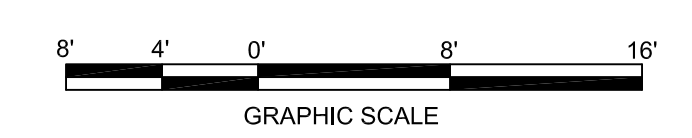
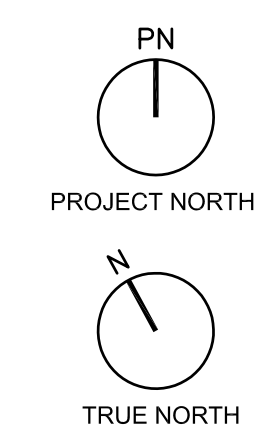
- ROOF NOTE**
- ALL ROOFING SHALL BE CLASS 'A' ROOFING OVER 1HR FIRE RATED ASSEMBLY. U.N.O
  - ALL OUTDOOR CONCRETE OR WOOD DECK @ LEVEL 2 AND LEVEL 3 SHALL BE WATERPROOFED BY PROPER SYSTEM.
  - RD: ROOF DRAIN  
DD: DECK DRAIN  
OD: OVERFLOW DRAIN
  - ALL CONCRETE PAVEMENT (IMPERVIOUS AREA)-UNCOLORED CONCRETE W/SMOOTH CEMENT FINISH. INITIAL SOLAR REFLECTANCE SHALL BE MIN 0.30.
  - ALL OUTDOOR CONCRETE SHALL BE SLOPED AWAY FROM THE BUILDING.

- LID NOTE**
- ALL ROOF RUNOFF TO DRAIN TO LID PLANTERS SEE LID-2, LID-3, A1.10

- NOTE**
- ALL GARAGE FLOOR TO BE SLOPED (MIN 1%) TO AREA DRAIN. SEE GRADING PLAN @ C-2, C-3
  - SEE AREA DRAIN DETAIL @ 10/A9.10
  - SEE AREA DRAIN LOCATION @ C-2, C-3
  - SEE GUEST ROOM ENLARGED PLAN / RCP @ A5.10-A5.12
  - SEE COMMERCIAL AREA RESTROOM PLAN/ ELEVATION @ A5.60
  - SEE STAIR/ELEVATOR ENLARGED PLAN / SECTION @ A5.10-A5.12 AND A8.20
  - EXTERIOR WALLS AT LEVEL 3-5 ARE 2 HOUR FIRE RATED.
  - SMF @ GUEST ROOMS AND 6X6 WOOD POST @ CORRIDOR 2 SHALL BE 2HR FIRE RATED TYP. SEE SMF AND WOOD POST LOCATION @ STRUCTURE PLAN
  - SEE INTERIOR WALL CONSTRUCTION DETAIL @ INTERIOR PARTITION TYPE / A7.20

**LEGEND**

- STANDPIPE (MIN.CLASS 1 TYP.)
- DD DECK DRAIN



**A1 FLOOR PLAN LEVEL 5**  
SCALE: 1/8"=1'-0"

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**2813 FLOWER ST HOTEL  
NEW CONSTRUCTION  
2813 & 2819 FLOWER ST.  
LOS ANGELES, CA 90007**

PROJECT RECORD:

REV #	DATE	DESCRIPTION
01/28/20		CUB PLAN SET
04/07/20		PLAN CHECK SET
09/21/20		CORRECTION SET
10/22/20		CORRECTION SET

PROJECT NAME:  
**2813 FLOWER ST HOTEL  
NEW CONSTRUCTION**

PROJECT SITE:  
**2813 & 2819 FLOWER ST.  
LOS ANGELES, CA 90007**

DATE: **10/22/20** DRAWN BY:

SHEET TITLE:  
**FLOOR PLAN**

SHEET NUMBER:  
**A2.15**